

American Tin Cannery

Hotel & Commercial Project

COASTAL DEVELOPMENT PERMIT SUBMITTAL

JULY 6, 2020

CCS Pacific Grove Manager, LLC
2301 Rosecrans Ave., Suite 1150
El Segundo, CA 90245
(310) 546-5781

HART HOWERTON
NEW YORK • SAN FRANCISCO



JOHN C. HILL, A.I.A.
Architectural Design Consultant
P.O. Box 5903, Carmel, CA 93921
831-620-2924

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PROJECT INFORMATION			
Project Name:	ATC Hotel & Commerical Project	Owner Name:	CCS Pacific Grove Manager, LLC
		Owner Address:	2301 Rosecran Ave., Suite 1150
			El Segundo, CA 90245
		Telephone:	(310) 546 - 5781
LEGAL DESCRIPTION		ABBREVIATIONS	
PARCEL I (APN: 006-231-001)		GR	Guestroom
LOTS 1 THROUGH 28, INCLUSIVE, IN BLOCK 1, AS SAID LOTS AND BLOCK AREA SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF THE UNIVERTISY ADDITION TO PACIFIC GROVE," FILED AUGUST 17, 1909 IN VOLUME 2, MAPS OF "CITIES AND TOWNS", AT PAGE 21, IN THE OF-FICE OF THE COUNTY RECORDER OF THE COUNTY OF MONTEREY, STATE OF CALIFORNIA.		(E)	Existing
		(N)	New Wall
		sq. ft.	Square Feet
		(P)	Proposed
		TYP.	Typical
PARCEL II: (APN: 006-234-004, -005)		T.O.R.	Top of Roof
LOTS 1 THROUGH 10, INCLUSIVE, IN BLOCK 4, AS SAID LOTS AND BLOCK ARE SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF THE UNIVERSITY ADDITION TO PACIFIC GROVE", FILED AUGUST 17, 1909 IN VOLUME 2, MAPS OF "CITIES AND TOWNS", AT PAGE 21, IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF MONTEREY, STATE OF CALIFORNIA.		T.O.P.	Top of Parapet
		T.R.E.	Top of Roof Equipment
		T.E.O.	Top of Elevator Override
		T.O.G.	Top of Green Roof
		F.O.B.	Face of Balcony
PARCEL III: (APN: 006-234-008)		M	Men's Restroom
LOTS 19 THROUGH 21, INCLUSIVE, IN BLOCK 4, AS SAID LOTS AND BLOCK ARE SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF THE UNIVERSITY ADDITION TO PACIFIC GROVE", FILED AUGUST 17, 1909 IN VOLUME 2, MAPS OF "CITIES AND TOWNS", AT PAGE 21, IN THE OF-FICE OF THE COUNTY RECORDER OF THE COUNTY OF MONTEREY, STATE OF CALIFORNIA.		W	Women's Restroom
		B1	Basement One
		C	Compact Parking Stall
		GFA	Gross Floor Area
APN	ADDRESS		
006-231-001	109 OCEAN BOULEVARD		
006-234-004	SLOAT AVENUE (NO SITE ADDRESS)		
006-234-005	EARDLEY AVENUE (NO SITE ADDRESS)		
006-234-008	124 CENTRAL AVENUE		

PROJECT DATA SHEET			
Project Address:	109 Ocean View Boulevard	Submittal Date:	June 7, 2019
Applicant(s):	CCS Pacific Grove Manager, LLC	Permit Type(s) & No(s):	Use Permit

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	C-V-ATC			
Building Site Area				See Survey
Density (multi-family projects only)				
Building Coverage				See Program Summary
Site Coverage	90%		89%	See Program Summary
Gross Floor Area				See Program Summary
Square Footage not counted towards Gross Floor Area				See Program Summary
Impervious Surface Area Created and/or Replaced				See Storm Water Control Plan
Exterior Lateral Wall Length to be demolished in feet & % of total*	_____	_____	____ft/____%	
Exterior Lateral Wall Length to be built	_____	_____		
Building Height	40'		40'	
Number of stories				See Sections
Front Setback	8'			Front Landscaped
DEWEY AVENUE Side Setback (specify side)	10'			
_____Side Setback (specify side)				
Rear Setback	0'			
Garage Door Setback				
Covered Parking Spaces			260	
Uncovered Parking Spaces			44	
Parking Space Size (Interior measurement)	9' x 20'			
Number of Driveways	1		1	Per Street
Driveway Width(s)				See Plans
Back-up Distance				See Plans
Eave Projection (Into Setback)	3' maximum			
Distances Between Eaves & Property Lines	3' minimum			
Open Porch/Deck Projections			6' TYP.	GR Balcony
Architectural Feature Projections			6' TYP.	GR Balcony
Number & Category of Accessory Buildings				
Accessory Building Setbacks				
Distance between Buildings				See Plans
Accessory Building Heights				
Fence Heights				

**If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.*

PROGRAM SUMMARY		
Program		Sq. Footage
Hotel		
Executive Wing Guestrooms	104 keys	65,564
Group / Family Wing Guestrooms	121 keys	53,564
Hotel Public		
Restaurant/Bar		3,245
Rooftop Bar		3,330
Ballroom/Meeting		22,340
Spa/Fitness		8,835
Lobby/Lounge		2,735
Street Retail		20,000
Hotel Back of House		38,123
Core & Circulation		34,721
Hotel Interior Subtotal		252,457
Exterior Covered Areas		18,809
Hotel Building Subtotal		271,266
Parking (Valet)		
Group / Family Wing (Garage Parking EL. +17'/19')	107 cars	32,890
Executive Wing (Garage Parking EL. +44')	153 cars	58,585
Upper Lot (Surface Parking EL. +67')	44 cars	14,720
Parking Subtotal	304 cars	106,195
Project Total (Hotel & Parking)		377,461

BUILDING COVERAGE	
Total Project Site Area	243,635 sq. ft.
Building Coverage Area	122,500 sq.ft.
Building Coverage	50%

SITE COVERAGE	
Total Project Site Area	243,635 sq. ft.
Site Coverage Area	217,500 sq.ft.
Site Coverage	89%

GROSS FLOOR AREA	
Total Enclosed Areas of All Floors of Buildings (GFA)	343,932 sq. ft.
Total Areas Not Counted Towards GFA	0 sq.ft.

IMPERVIOUS / PERVIOUS SURFACE AREA	
Total Impervious Area	185,255 sq. ft.
Total Pervious Area	55,010 sq.ft.





ATC HOTEL & COMMERCIAL PROJECT

109 Ocean View Blvd., Pacific Grove, California

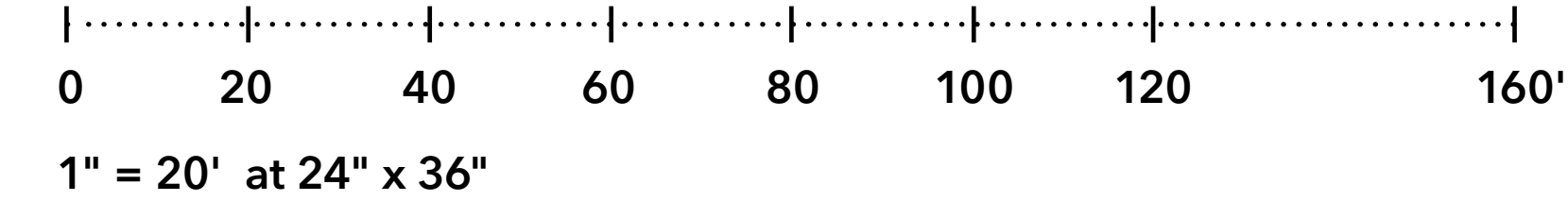
APN 006-231-001, 006-234-004, 006-234-005, 006-234-008



Existing Elevation



Proposed Elevation





Existing Elevation



Proposed Elevation



Existing Elevation



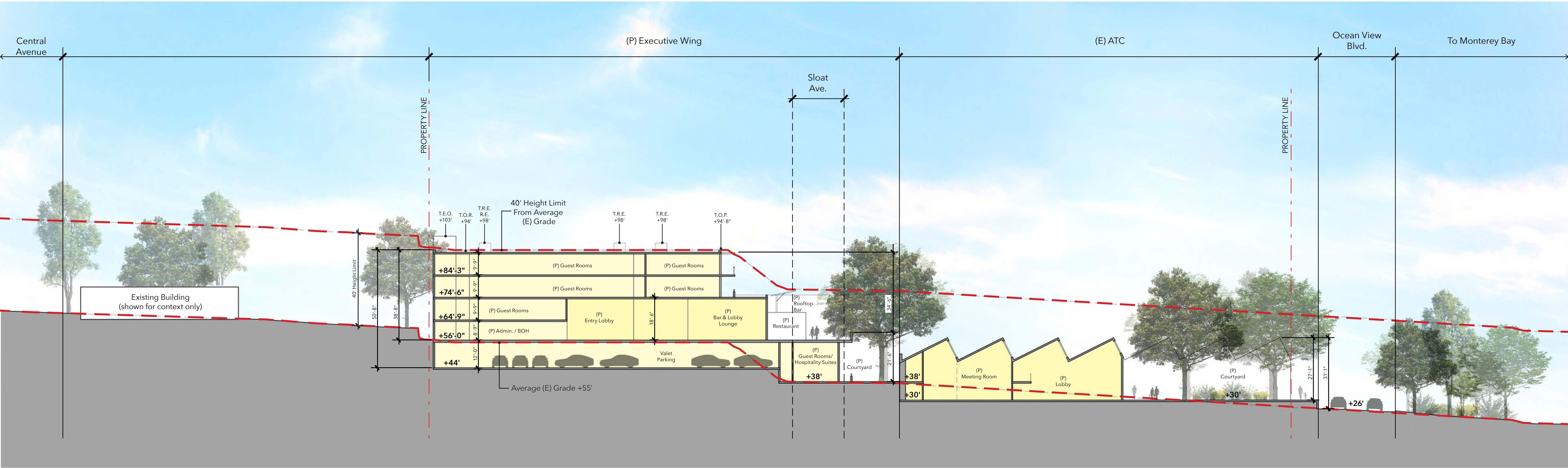
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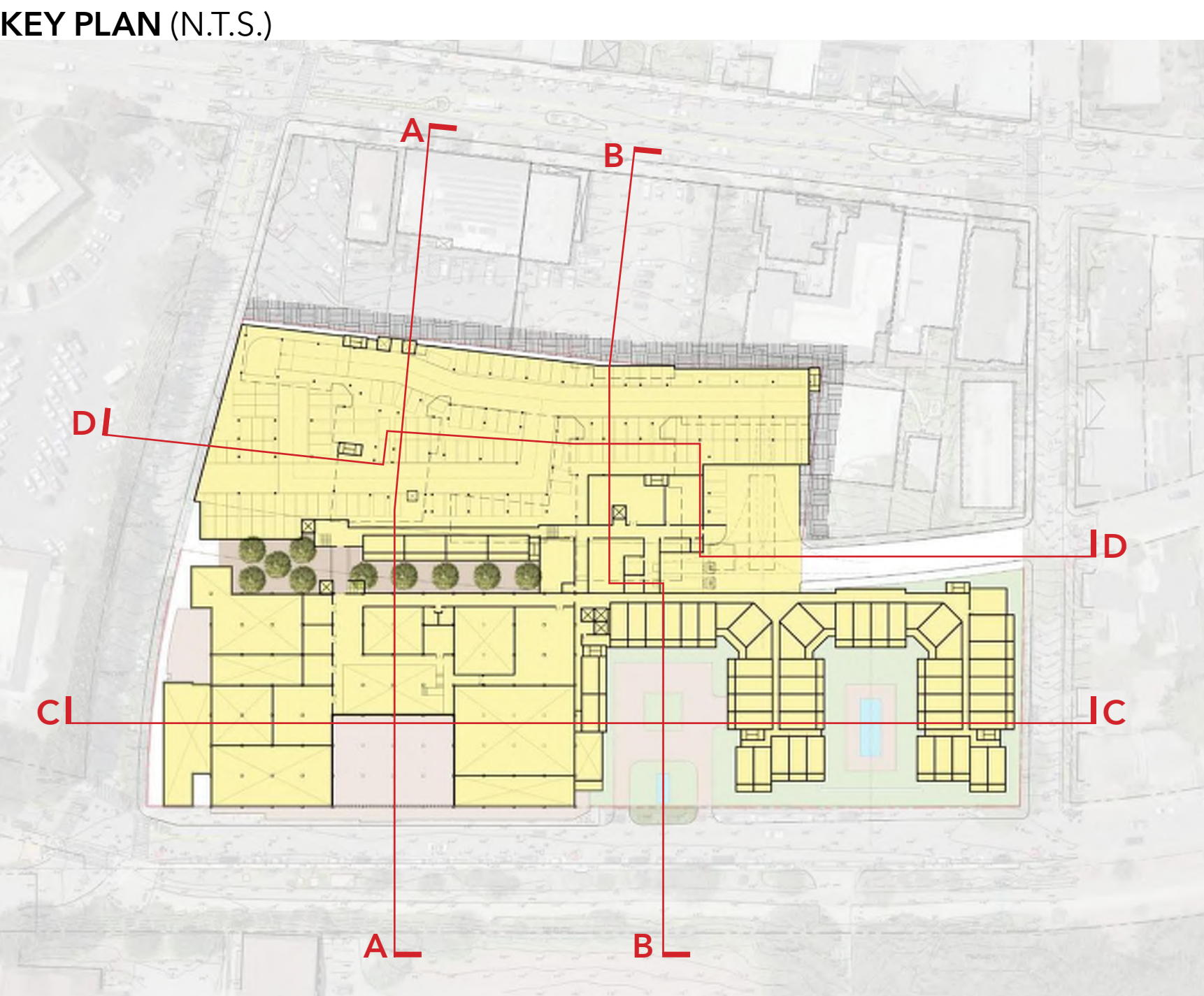
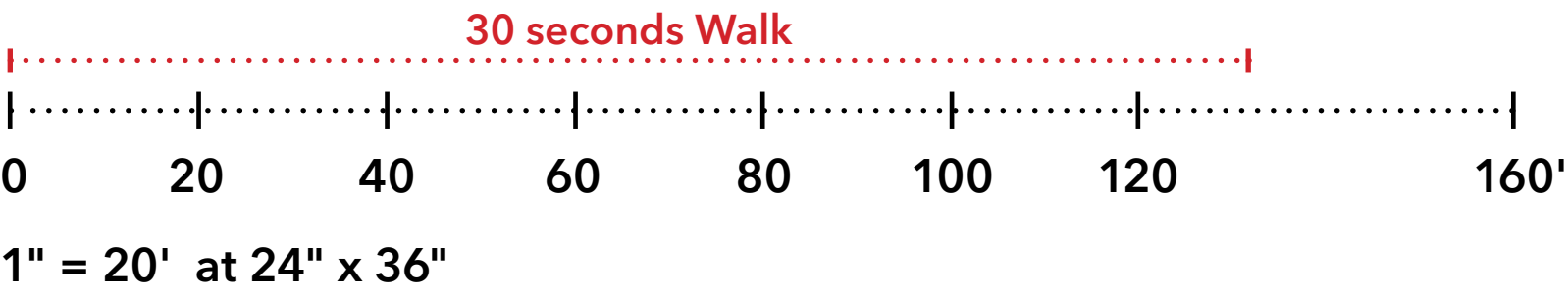
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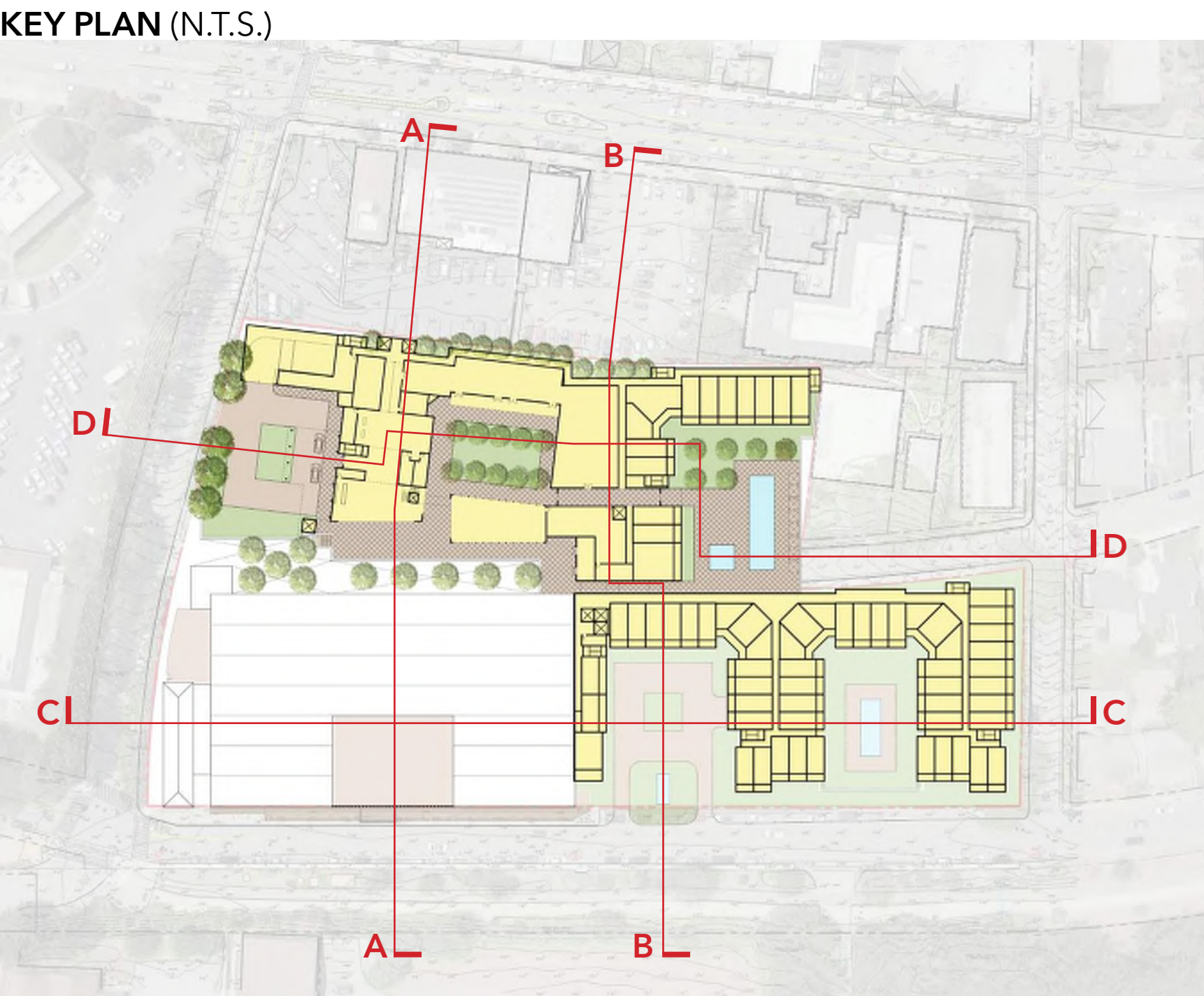
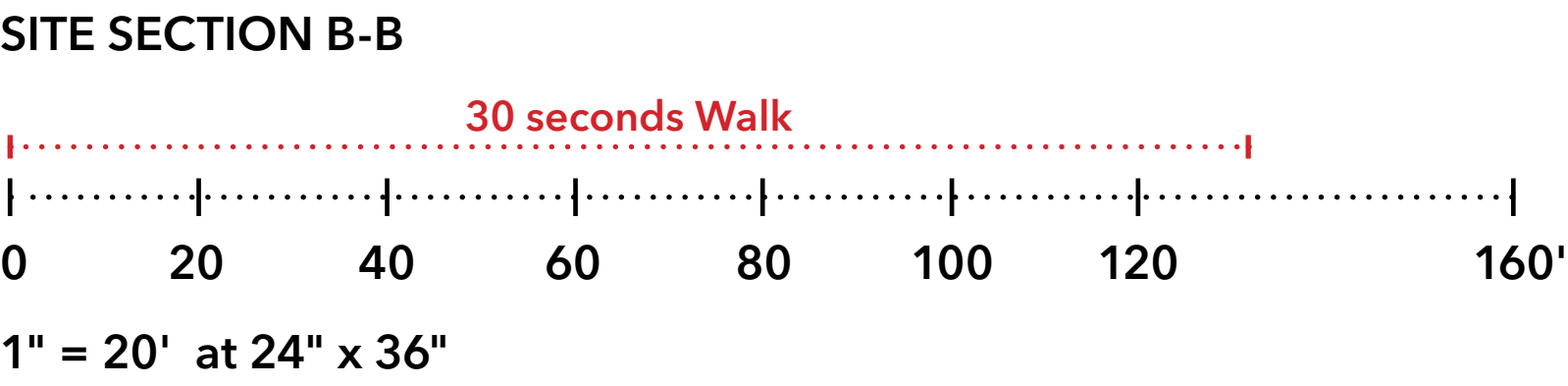
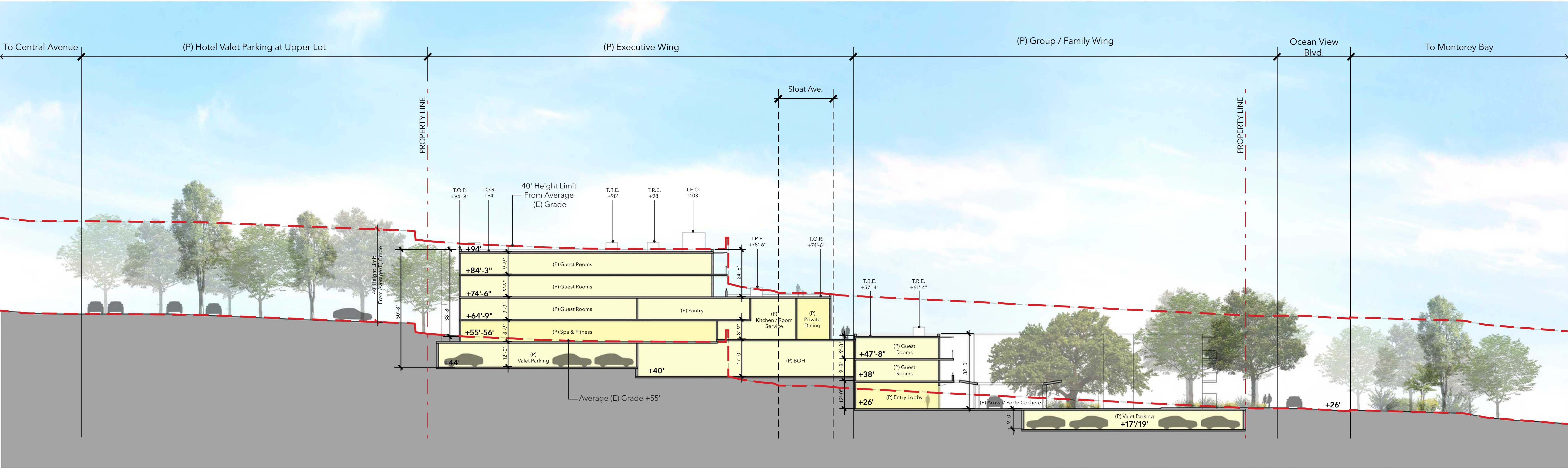


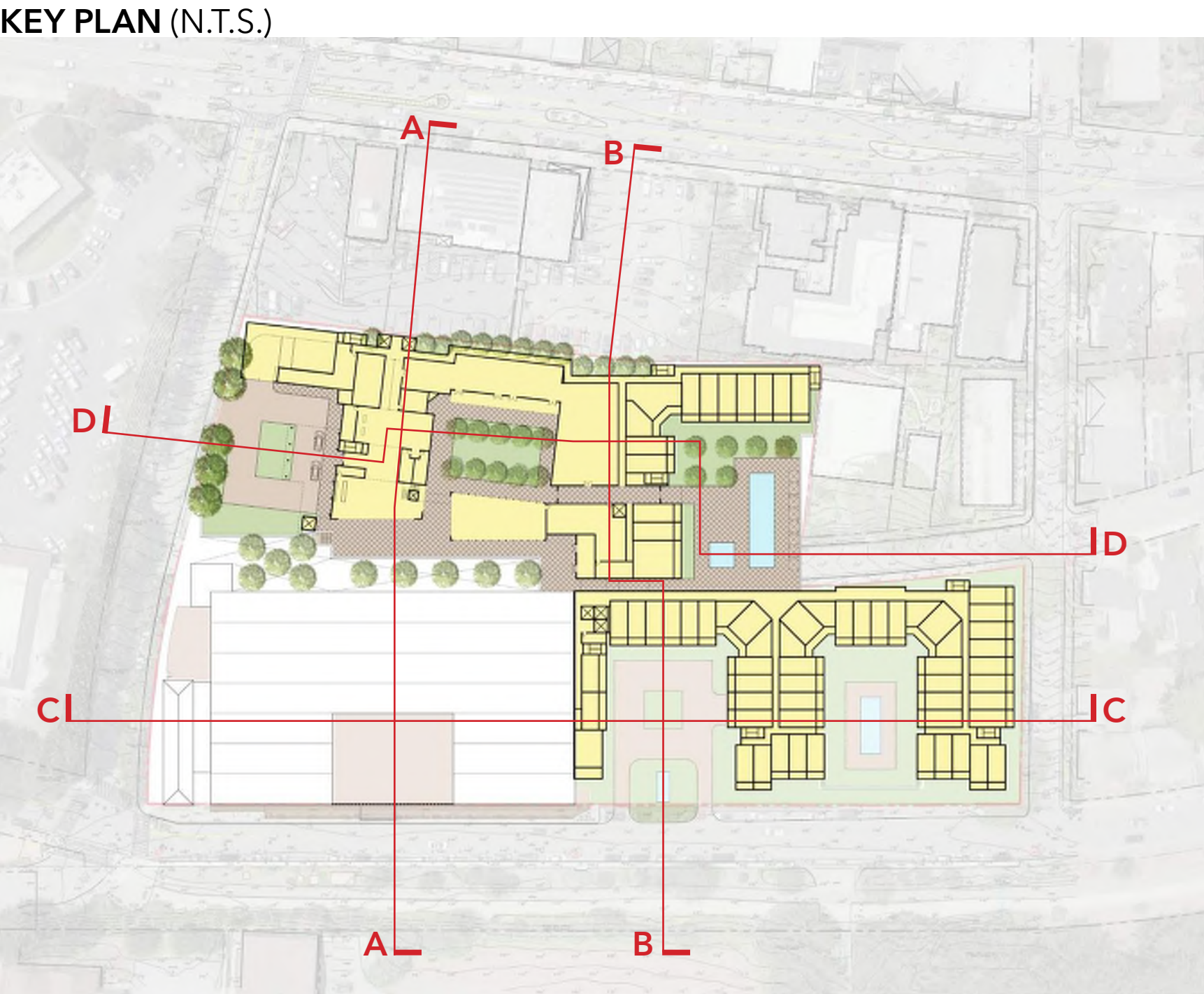
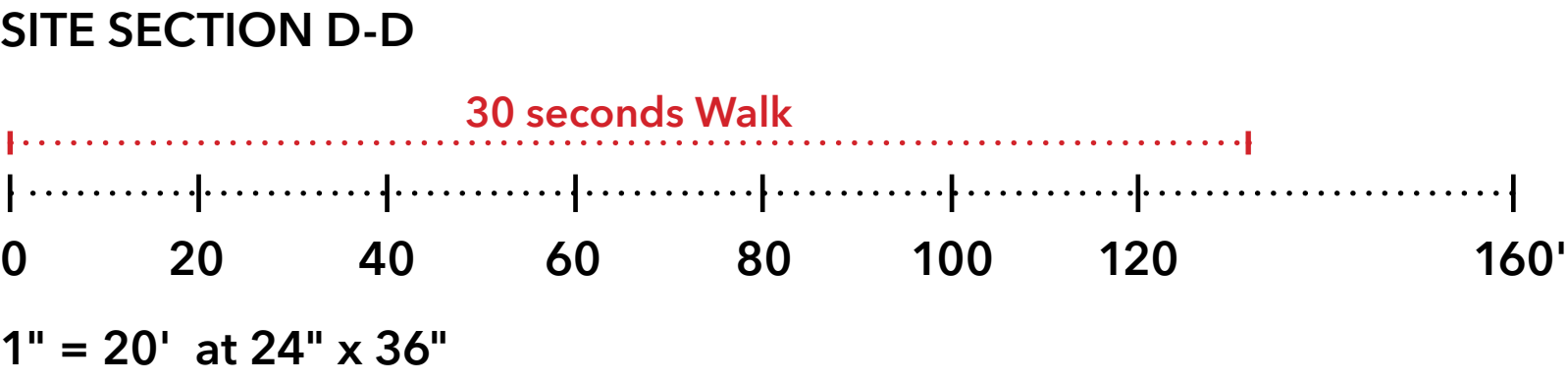
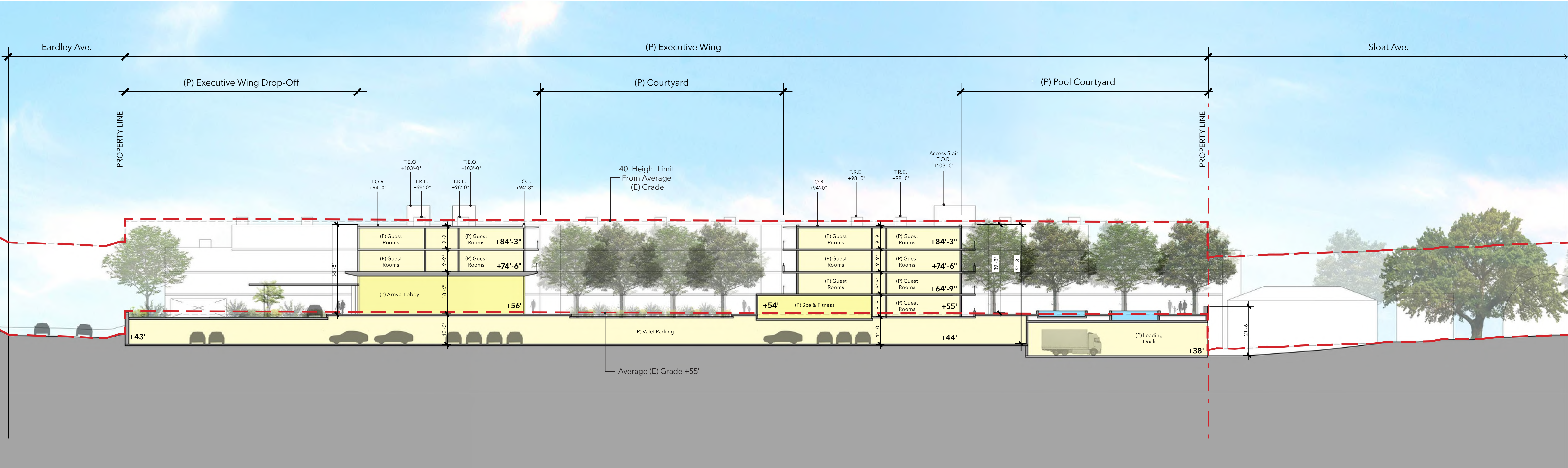
Proposed Elevation



SITE SECTION A-A







LEGEND

- SUBJECT PROPERTY LINE
- ADJACENT PROPERTY LINE
- 100 GROUND CONTOUR
- EXISTING STORM DRAIN
- EXISTING SEWER
- EXISTING GAS
- EXISTING WATER
- EXISTING ELECTRICAL
- TREE DRIPLINE

SURVEY AND EXISTING CONDITIONS

TOPOGRAPHY SHOWN IS BASED ON AN AERIAL SURVEY FLOWN ON MAY 16, 2016.

BENCHMARK TAKEN AS NATIONAL GEODETTIC SURVEY TIDAL BENCHMARK DESIGNATED "GU4116 941 3450M TIDAL" ELEVATION 11.70 FEET, NAVD 1988

BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY SHOWN IS FROM RECORD DATA. THIS TOPOGRAPHY DOES NOT CONSTITUTE A BOUNDARY SURVEY. THERE MAY BE EASEMENTS OR OTHER RIGHTS, RECORDED OR UNRECORDED, AFFECTING THE SUBJECT PROPERTY WHICH ARE NOT SHOWN HEREON.

UNDERGROUND UTILITIES ARE BASED ON FIELD LOCATION OF VISIBLE SURFACE FEATURES IN CONJUNCTION WITH SCHEMATICS OF UNDERGROUND UTILITIES PROVIDED BY THE UTILITY OWNER. EXACT LOCATIONS AND DEPTHS SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.



Civil Engineering
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SUBMITTAL / REVISION	DATE
1	9/4/19

ATC HOTEL AND COMMERCIAL PROJECT
FOURSOUE DEVELOPMENT COMPANY 109 Ocean View Boulevard, Pacific Grove, California
TOPOGRAPHIC SURVEY
APN 006-231-001, 006-234-004, 006-234-005, 006-234-008

SCALE: 1" = 30'
DRAWN: KCL
JOB No.: 3400

SHEET

FOR CONSTRUCTION

C-1 - Topographic Survey

July 6, 2020

DEMOLITION LEGEND

- DEMO LIMITS
- PAVEMENT TO BE DEMOLISHED (SF = 101,925±)
- STRUCTURE TO BE DEMOLISHED (FOOTPRINT SF = 56,600±)
- UTILITY TO BE RELOCATED
- SUBJECT PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING STORM DRAIN
- EXISTING SEWER
- EXISTING GAS
- EXISTING WATER
- EXISTING ELECTRICAL

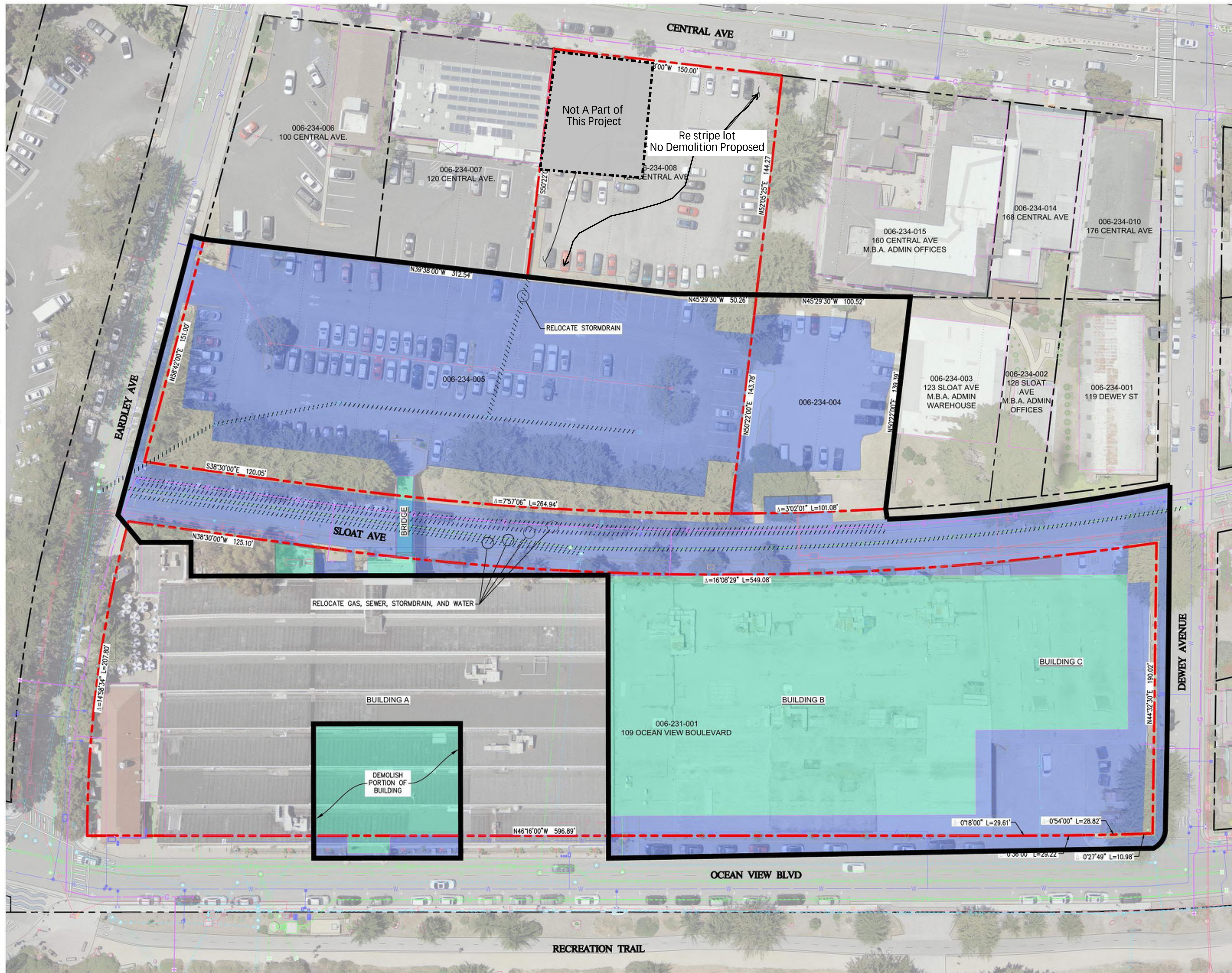
DEMOLITION NOTES

BUILDINGS/STRUCTURES:
BUILDING A IS PROPOSED TO BE RENOVATED AND A PORTION OF THE BUILDING PROPOSED TO BE DEMOLISHED TO PROVIDE A COURTYARD.
THE EXISTING BRIDGE ACROSS SLOAT AVE IS PROPOSED TO BE DEMOLISHED.
BUILDINGS B AND C ARE PROPOSED TO BE DEMOLISHED IN THEIR ENTIRETY.

PAVEMENT/PARKING/CURB, GUTTER, AND SIDEWALK:
THE PAVEMENT AREA ADJACENT TO BUILDINGS B AND C IS PROPOSED TO BE DEMOLISHED.
THE PARKING LOTS ON PARCELS 003-234-005 AND -004 ARE PROPOSED TO BE DEMOLISHED.
THE CURB, GUTTER, AND SIDEWALK ON THE NORTH WEST SIDE OF EARDLEY AVE ADJACENT TO PARCEL 006-234-005 IS PROPOSED TO BE RECONSTRUCTED.
THE CURB, GUTTER, SIDEWALK AND ROADWAY ADJACENT TO PARCELS 006-234-001, -002, AND -003 IS PROPOSED TO BE RECONSTRUCTED.
THE CURB, GUTTER, AND SIDEWALK ON DEWEY STREET ADJACENT TO THE PROJECT AREA IS PROPOSED TO BE RECONSTRUCTED.
THE FRONTAGE OF OCEAN VIEW BLVD IS PROPOSED TO BE RECONSTRUCTED ADJACENT TO BUILDINGS B AND C.

UTILITIES:
THE EXISTING GAS LINE IN SLOAT AVE AND ADJACENT TO THE SUBJECT PROPERTIES IS PROPOSED TO BE RELOCATED TO EARDLEY AVE TO PROVIDE CONNECTION BETWEEN THE EXISTING GAS LINE IN CENTRAL AVENUE TO THE EXISTING GAS LINE IN EARDLEY AVE. PARCELS 006-234-001, -002, AND -003 ARE PROPOSED TO BE SERVED BY THE PORTION OF GAS LINE IN SLOAT AVE SHOWN TO REMAIN.
THE EXISTING WATER LINE IN SLOAT AVE AND ADJACENT TO THE SUBJECT PROPERTIES IS PROPOSED TO BE DEMOLISHED. PARCELS 006-234-001, -002, AND -003 ARE PROPOSED TO BE SERVED BY THE PORTION OF WATER LINE IN SLOAT AVE SHOWN TO REMAIN.
THE EXISTING GRAVITY SEWER LINE IN SLOAT AVE IS PROPOSED TO BE REMOVED AND RECONSTRUCTED TO SERVE PARCELS 006-234-001, -002, AND -003 VIA A NEW SEWER MAIN IN DEWEY STREET.
THE EXISTING STORM DRAIN IN SLOAT AVE IS PROPOSED TO BE RECONSTRUCTED IN SLOAT AVE TO ACCOMMODATE OFFSITE RUNOFF FROM THE EXISTING TRIBUTARY WATERSHED.

ACCESS:
ACCESS TO PARCELS 006-234-001, -002, AND -003 SERVED BY SLOAT AVE SHALL BE MAINTAINED AND COORDINATED WITH PROPERTY OWNERS DURING DEMOLITION AND CONSTRUCTION.



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ATC HOTEL AND COMMERCIAL PROJECT
FOURSCAPE DEVELOPMENT COMPANY 109 Ocean View Boulevard, Pacific Grove, California
DEMOLITION PLAN
FOR CONSTRUCTION

SCALE:	1" = 30'
DRAWN:	KCL
JOB No.:	3400

SHEET

C-2 - Demolition Plan

July 6, 2020

- LEGEND**
- SUBJECT PROPERTY LINE
 - ADJACENT PROPERTY LINE
 - 100 GROUND CONTOUR
 - EXISTING BUILDING
 - BUILDING SETBACKS
 - PROPOSED BUILDING
 - PROPOSED WALKWAY/MOTOR COURTS
 - PROPOSED PLANTER AREA
 - PROPOSED PATIO/TERRACE
 - PROPOSED POOL/WATER FEATURE

LEGAL DESCRIPTION

PARCEL I (APN: 006-231-001)

LOTS 1 THROUGH 28, INCLUSIVE, IN BLOCK 1, AS SAID LOTS AND BLOCK AREA SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF THE UNIVERSITY ADDITION TO PACIFIC GROVE," FILED AUGUST 17, 1909 IN VOLUME 2, MAPS OF "CITIES AND TOWNS", AT PAGE 21, IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF MONTEREY, STATE OF CALIFORNIA.

PARCEL II: (APN: 006-234-004, -005)

LOTS 1 THROUGH 10, INCLUSIVE, IN BLOCK 4, AS SAID LOTS AND BLOCK AREA SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF THE UNIVERSITY ADDITION TO PACIFIC GROVE," FILED AUGUST 17, 1909 IN VOLUME 2, MAPS OF "CITIES AND TOWNS", AT PAGE 21, IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF MONTEREY, STATE OF CALIFORNIA.

PARCEL III: (APN: 006-234-008)

LOTS 19 THROUGH 21, INCLUSIVE, IN BLOCK 4, AS SAID LOTS AND BLOCK AREA SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF THE UNIVERSITY ADDITION TO PACIFIC GROVE," FILED AUGUST 17, 1909 IN VOLUME 2, MAPS OF "CITIES AND TOWNS", AT PAGE 21, IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF MONTEREY, STATE OF CALIFORNIA.

PROJECT ADDRESS

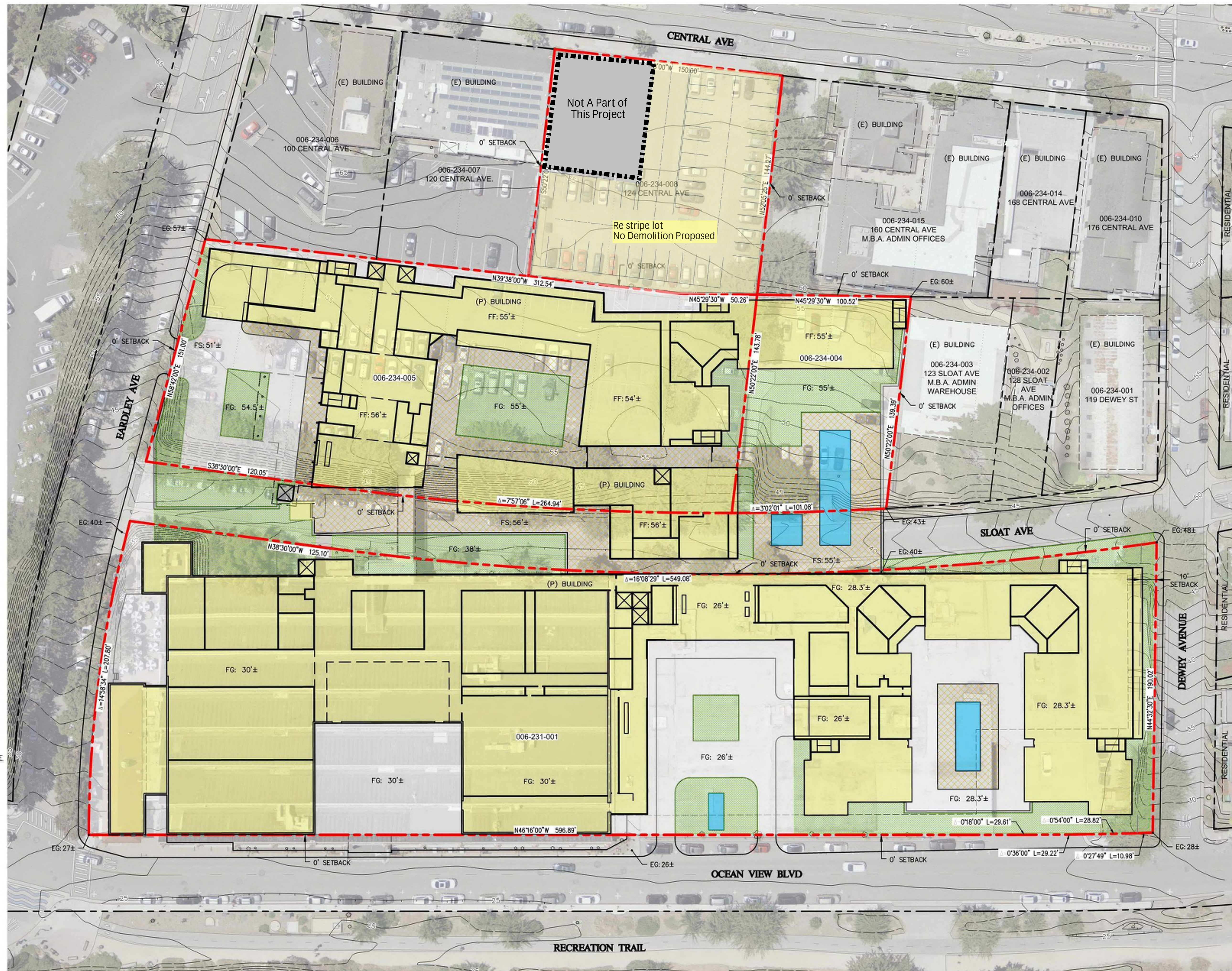
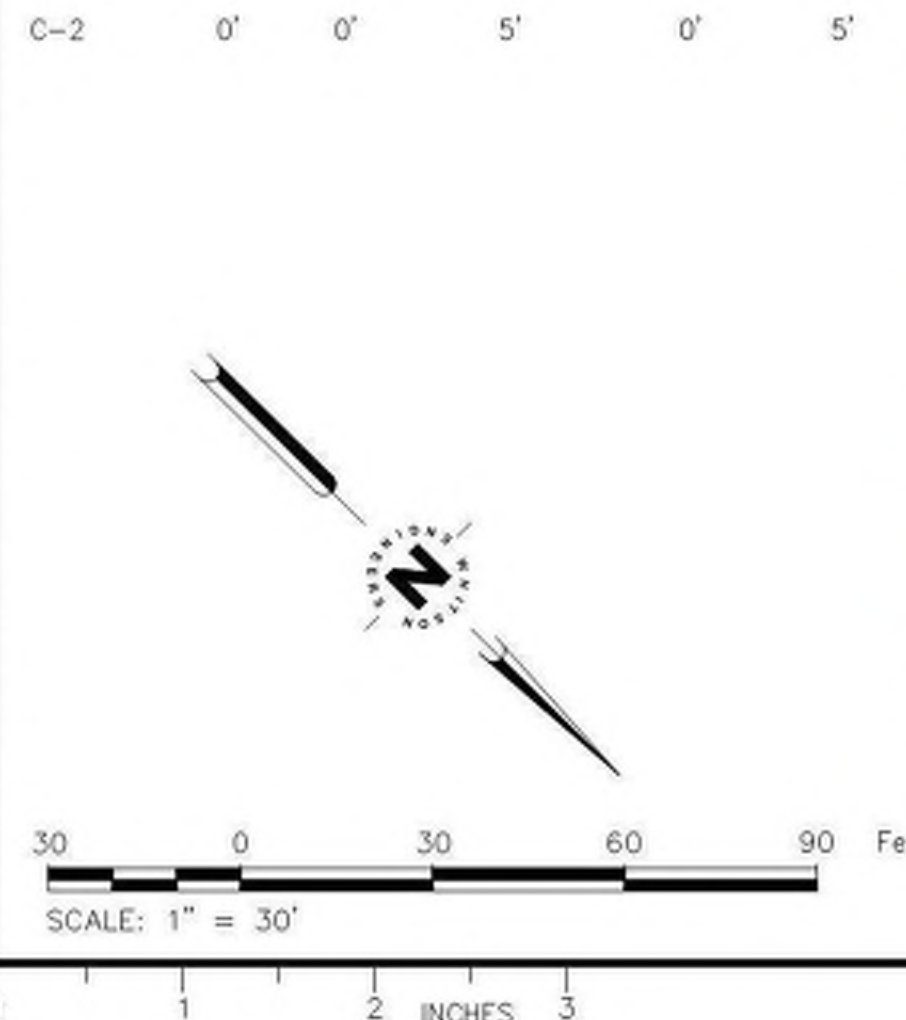
APN	ADDRESS
006-231-001	109 OCEAN BOULEVARD
006-234-004	SLOAT AVENUE (NO SITE ADDRESS)
006-234-005	EARDLEY AVENUE (NO SITE ADDRESS)
006-234-008	124 CENTRAL AVENUE

EXISTING ZONING

APN	ZONING
006-231-001	CV-ATC
006-234-004	C-2
006-234-005	C-2
006-234-008	C-1

BUILDING SETBACKS

ZONING	FRONT	SIDE	ADJ. RESIDENT	REAR	ADJ. ZONE
CV-ATC	0'	0'	10'	0'	10'
C-1	0'	0'	5'	0'	5'
C-2	0'	0'	5'	0'	5'



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9/4/19

ATC HOTEL AND COMMERCIAL PROJECT
FOUR SOME DEVELOPMENT COMPANY 109 Ocean View Boulevard, Pacific Grove, California
CIVIL SITE PLAN
FOR CONSTRUCTION

SCALE: 1" = 30'
DRAWN: EJM
JOB No.: 3400

C-3 - Civil Site Plan

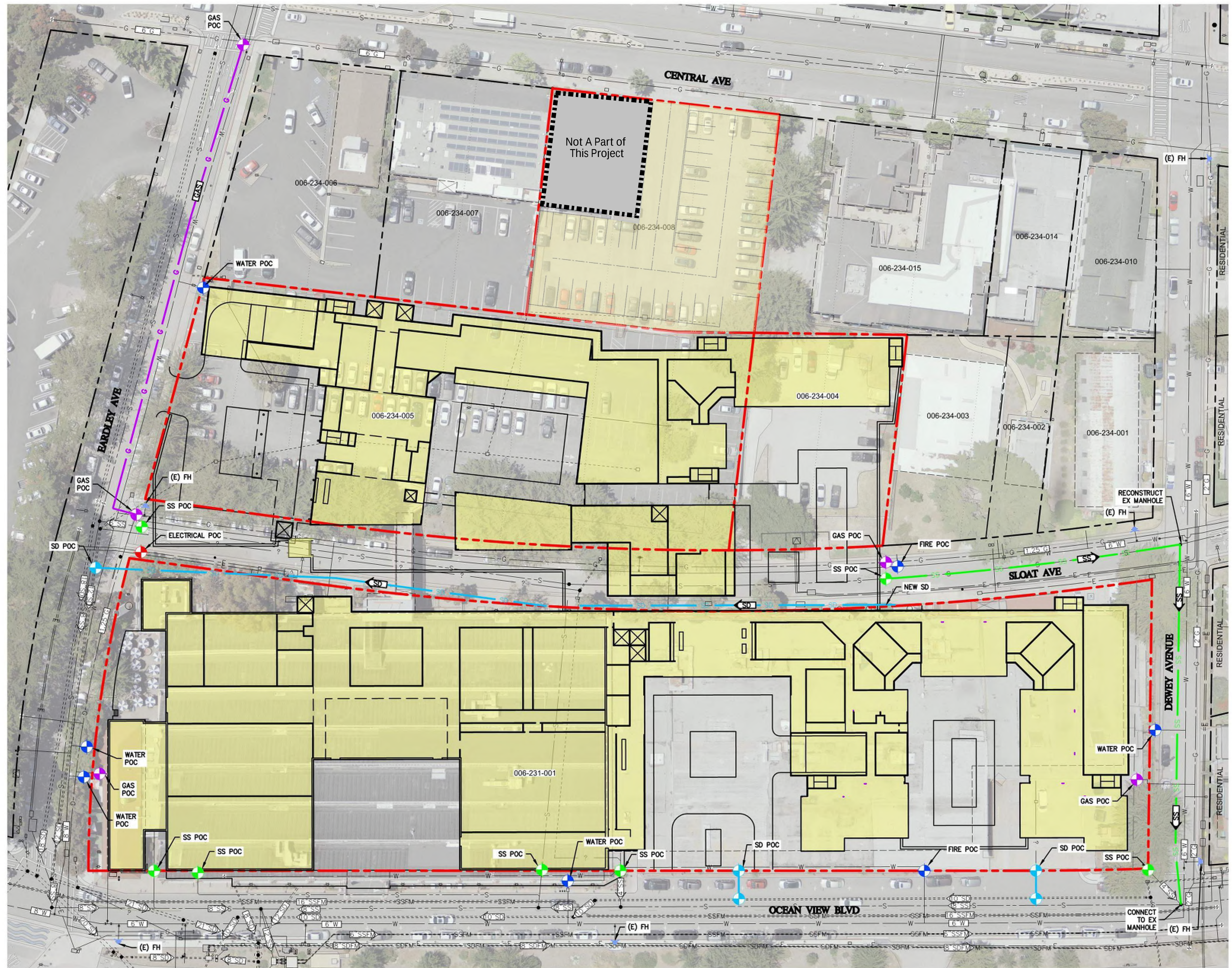
July 6, 2020

- LEGEND**
- SUBJECT PROPERTY LINE
 - ADJACENT PROPERTY LINE
 - EXISTING STORM DRAIN
 - EXISTING SEWER
 - EXISTING GAS
 - EXISTING WATER
 - EXISTING ELECTRICAL
 - EXISTING FIRE HYDRANT
 - PROPOSED STORM DRAIN
 - PROPOSED SEWER
 - PROPOSED GAS
 - PROPOSED STORM DRAIN POC
 - PROPOSED SEWER POC
 - PROPOSED GAS POC
 - PROPOSED WATER POC
 - PROPOSED ELECTRICAL POC

UTILITY NOTES

UNDERGROUND UTILITIES ARE BASED ON FIELD LOCATION OF VISIBLE SURFACE FEATURES IN CONJUNCTION WITH SCHEMATICS OF UNDERGROUND UTILITIES PROVIDED BY THE UTILITY OWNER. EXACT LOCATIONS AND DEPTHS SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.

PROPOSED UTILITIES SHOWN ARE CONCEPTUAL.



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ATC HOTEL AND COMMERCIAL PROJECT

FOURSUM DEVELOPMENT COMPANY 109 Ocean View Boulevard, Pacific Grove, California

UTILITY PLAN

APN 006-231-001, 006-234-004, 006-234-005, 006-234-008

SCALE: 1" = 30'
DRAWN: EJM
JOB No.: 3400

SHEET

FOR CONSTRUCTION

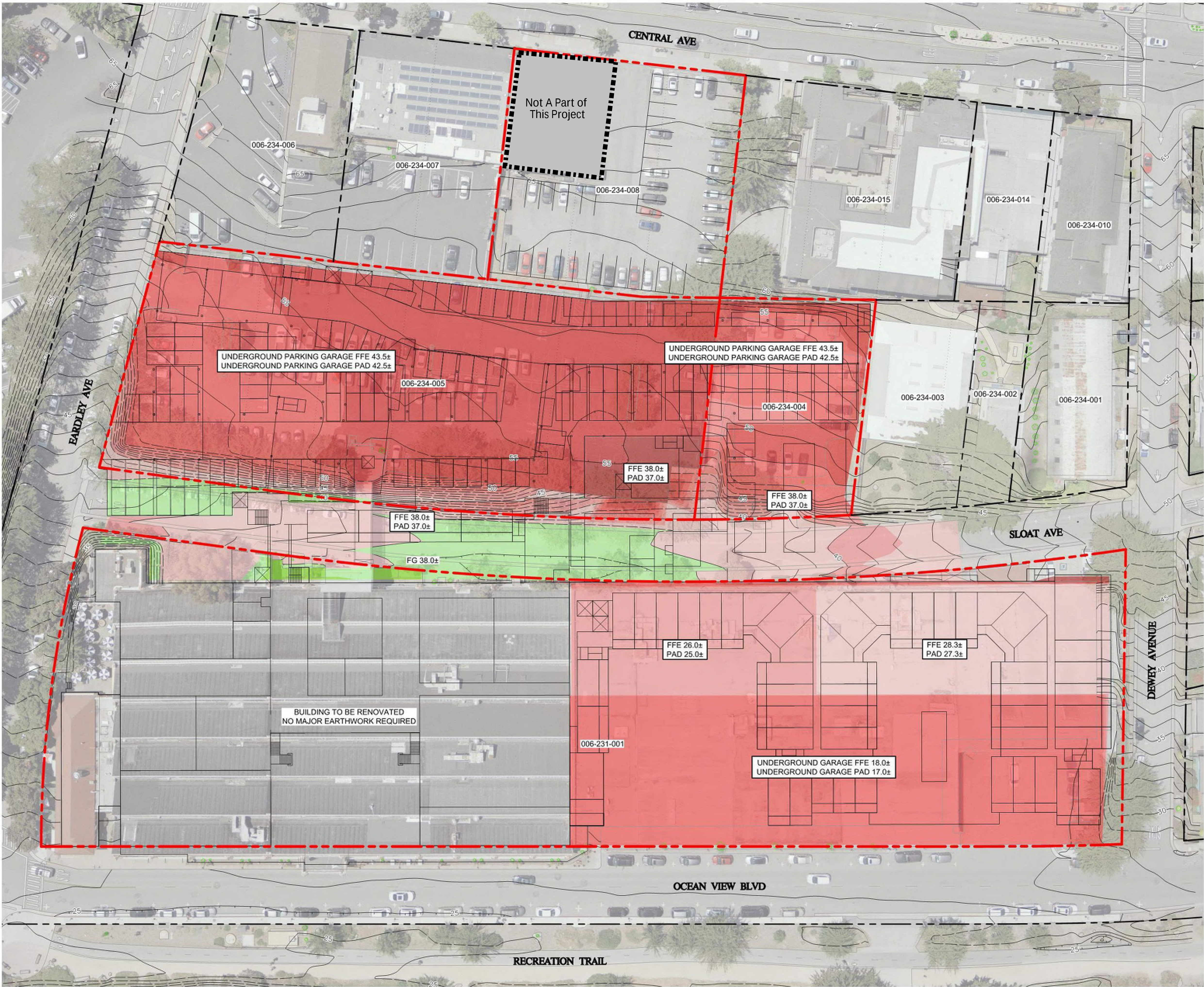
C-4 - Utility Plan

July 6, 2020

EARTHWORK LEGEND				
RANGE	DEPTH OF CUT/FILL	VOLUME (CY)	COLOR	
1	-21.00 -18.00	32		
2	-18.00 -15.00	313		
3	-15.00 -12.00	1,906		
4	-12.00 -9.00	8,850		
5	-9.00 -6.00	10,530		
6	-6.00 -3.00	11,346		
7	-3.00 0.00	14,162		
8	0.00 3.00	379		
9	3.00 6.00	32		

EARTHWORK AND AREA OF DISTURBANCE SUMMARY

- C = 47,100 CY
F = 400 CY
EXPORT = 46,700 CY
ESTIMATED AREA OF DISTURBANCE = 3.5 AC
1. THESE QUANTITIES SHALL BE USED FOR PLANNING PURPOSES ONLY.
 2. THE QUANTITIES PRESENTED ABOVE ARE ESTIMATES ONLY, BASED ON THE DIFFERENCE BETWEEN APPROXIMATE EXISTING GRADE AND APPROXIMATE SUBGRADE ELEVATIONS. FOUNDATION SECTIONS ARE ASSUMED TO BE 12" FOR THIS PLANNING LEVEL STUDY.
 3. OVER-EXCAVATION IS NOT INCLUDED IN THE ABOVE ESTIMATE. SITE SPOILS SUCH AS FROM UTILITY TRENCHING, FOUNDATIONS, ETC. ARE NOT INCLUDED IN ABOVE ESTIMATES.



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9/4/19

ATC HOTEL AND COMMERCIAL PROJECT
FOURSOME DEVELOPMENT COMPANY 109 Ocean View Boulevard, Pacific Grove, California
EARTHWORK EXHIBIT
APN 006-231-001, 006-234-004, 006-234-005, 006-234-008

SCALE:	1" = 30'
DRAWN:	KCL
JOB No.:	3400

SHEET

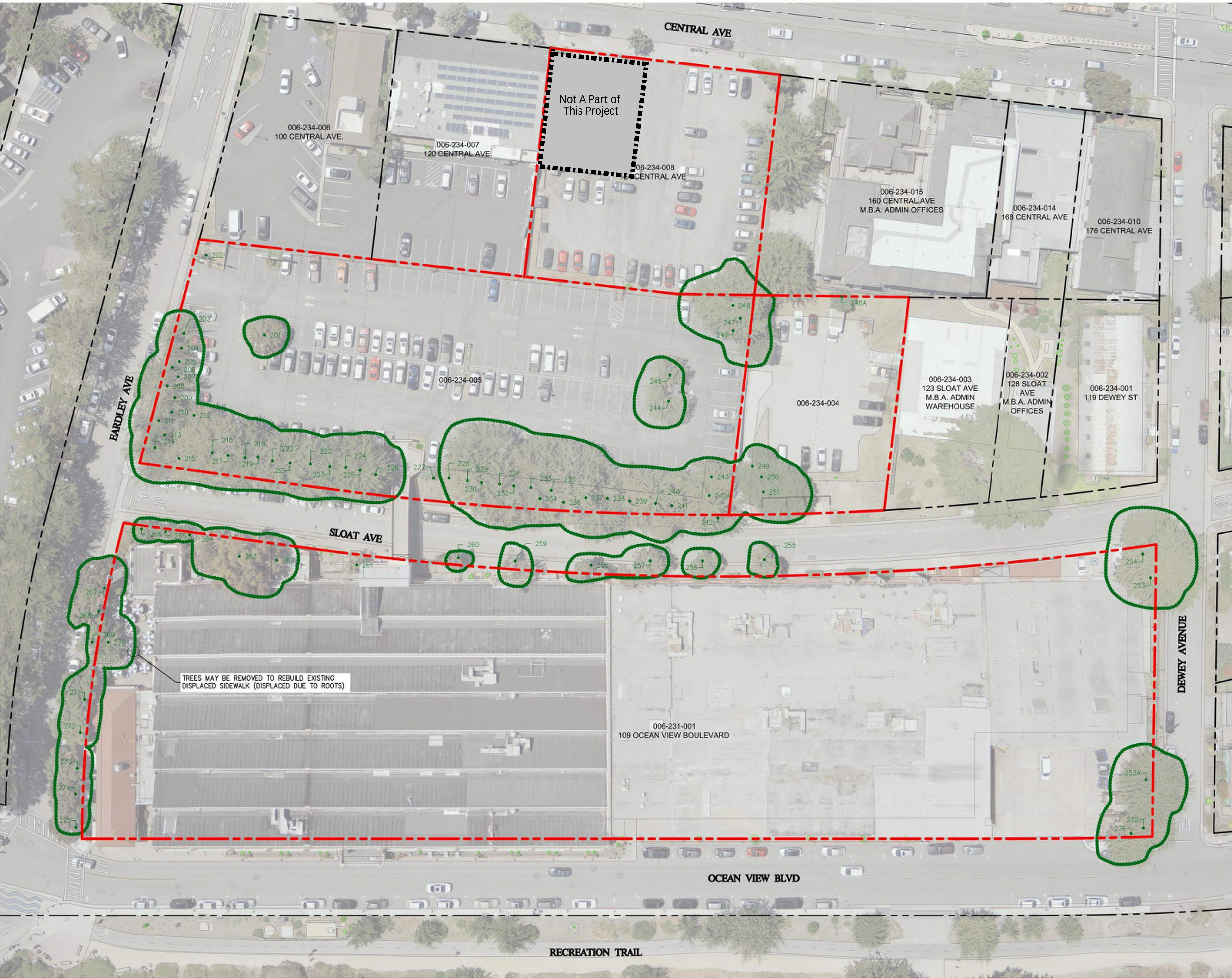
FOR CONSTRUCTION

C-5 - Earthwork Exhibit

July 6, 2020

DEMOLITION LEGEND

- TREE TO BE REMOVED
- - - SUBJECT PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- 202 TREE NUMBER PER ARBORIST REPORT



30 0 30 60 90 Feet
SCALE: 1" = 30'

0 1 2 INCHES 3

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9/4/19

ATC HOTEL AND COMMERCIAL PROJECT
FOURSOME DEVELOPMENT COMPANY 109 Ocean View Boulevard, Pacific Grove, California
TREE REMOVAL PLAN
FOR CONSTRUCTION

SCALE:	9/4/19
DRAWN:	EJM
JOB No.:	3400
SHEET	

C-6 - Tree Removal Plan

July 6, 2020