APPENDIX 3 – PLANS

BUILDING CODE ANALYSIS

REFERENCE CODES
2013 CALIFORNIA BUILDING CODE
2012 INTERNATIONAL BUILDING CODE

OCCUPANCY USE AND CLASSIFICATION
SECTION 310 & 311
THE PROPOSED BUILDING CONSISTS OF 3 STORIES OF HOTEL OVER 1 STORY OF VALET PARKING

LEVEL 0 (GROUND LEVEL)
PARKING S-2

LEVELS 1-3
HOTEL R-1

CONSTRUCTION TYPE
SECTION 602
Parking . . . . . TYPE V-A
Hotel . . . . . TYPE V-A

TABLE 601
Structural Frame, Bearing Walls
& Floor Construction: . . . . . 1-Hour Rating
Interior non-load
bearing partitions: . . . . . .No Protection Required
Roof Construction: . . . . . 1-Hour rating

ALLOWABLE HEIGHT AND AREA
SECTION 503
HOTEL
CONSTRUCTION TYPE . . . . . TYPE V-A
OCCUPANCY. . . . . TYPE R-1
BASIC ALLOWABLE AREA . . . . . 12,000 SF PER STORY
BASIC ALLOWABLE HEIGHT. . . . 3 STORIES

PARKING
CONSTRUCTION TYPE . . . . . TYPE V-A
OCCUPANCY. . . . . TYPE S-2
BASIC ALLOWABLE AREA . . . . . 21,000 SF
BASIC ALLOWABLE HEIGHT. . . . 4 STORIES

ACTUAL BUILDING HEIGHT
HOTEL (R-1): . . . . . THREE LEVELS; MAXIMUM HEIGHT > 40 FT
PARKING (S-2): . . . . . ONE LEVEL

AUTOMATIC SPRINKLER SYSTEM
SECTION 903.2.1
AN AUTOMATIC FIRE SUPPRESSION SYSTEM IS REQUIRED AND PROVIDED

AUTOMATIC SPRINKLER SYSTEM INCREASE MODIFICATION
SECTION 506.3
THE AREAS LIMITED BY TABLE 503 MAY BE INCREASED BY AN ADDITIONAL 200% FOR BUILDINGS WITH MORE THAN ONE STORY ABOVE GRADE PLANE

MAXIMUM ALLOWABLE AREA WITH INCREASE 36,000 SF PER FLOOR

FIRE RESISTANCE
FIRE SEPARATION DISTANCE: WALLS
TABLE 602
5 < x < 10 ft. = 1 hour
x > 10 ft. = 0 hours

FIRE SEPARATION DISTANCE: OPENINGS
TABLE 705.8
3 ft. < x < 5 ft. = 15% allowable area can be unprotected openings
5 ft. < x < 10 ft. = 25% allowable area can be unprotected openings
10 ft. < x < 15 ft. = 45% allowable area can be unprotected openings

ACCESSIBILITY
Per California Building Code
Section 1111B.4.3
Required: *7 Fully Accessible Rooms (2 require roll-in showers) 5 Hearing Impaired Accessible Rooms*
Provided: *7 Fully Accessible Rooms (2 with roll-in showers) 5 Hearing Impaired Accessible Rooms*

RESTAURANT AND PLAZA PERSPECTIVE
CORNER OF GRAND AVE. AND CENTRAL AVE.

ZONING CODE ANALYSIS

PROPERTY ADDRESS: 157 Grand Avenue
APN: 006-173-001
GENERAL PLANNING AREA:
ZONING DESIGNATION: C-1-T

ITEM	PERMITTED / REQUIRED	PROVIDED
Lot Area	As per development permit	33,875 SF
Building Height Limit	40' From Ext. Grade (With site coverage < 75%)	40'
Front Yard Setback (Street X)	0'	0'
Street Side yard Setback(STREET Y&Z)	0'	0'
Rear Yard Setback (New Property Line)	0'	0'
Parking Spaces	78	83

SITE COVERAGE
LOT AREA. . . . . 33,875 SF
ALLOWED COVERAGE (PER 23.31.040) . . . . . 25,406 SF (ALLOWED 75%)

BUILDING FOOTPRINT . . . . . 24,130 SF
POOL . . . . . 485 SF
SPA. . . . . 142 SF
WATER FEATURE . . . . . 43 SF
WALLS AND NON PERMIABLE . . . . . 417 SF
TOTAL. . . . . 25,217 SF

ALLOWABLE EXCLUSIONS
DRIVEWAY . . . . . -400 SF
WALKWAY . . . . . -60 SF
ADJUSTED TOTAL. . . . . 24,759 SF (PROPOSED 73%)

BUILDING INFORMATION

GROSS BUILDING AREA
HOTEL: 125 ROOMS
GROUND FLOOR - COMMON:. 1,685 SF
GROUND FLOOR - MAINT.: . . . . 2,230 SF
SECOND FLOOR:. . . . . 15,810 SF
THIRD FLOOR:. . . . . 22,341 SF
FOURTH FLOOR:. . . . . 21,709 SF
TOTAL:. . . . . 63,775 SF
RESTAURANT:
GROUND LEVEL: . . . . . 4,625 SF
PARKING:
GROUND LEVEL:. . . . . 15,590 SF
(DEDICATED LOT: . . . . . 8,427 SF)

TOTAL GROSS AREA. . . . . 83,990 SF

UNIT COUNT
SECOND FLOOR:. . . . . 31 ROOMS
THIRD FLOOR:. . . . . 48 ROOMS
FOURTH FLOOR:. . . . . 46 ROOMS
TOTAL:. . . . . 125 ROOMS

LOT SIZE . . . . . 33,875 SF

LANDSCAPE AREAS
PAVERS:. . . . . 3,270 SF
LANDSCAPE:. . . . . 4,803 SF
DECK:. . . . . 585 SF
TOTAL PROVIDED:. . . . . 8,658 SF

PARKING CALCULATIONS:
Per Pacific Grove Municipal Code
Section 23.64.190 (g)
Parking space required for other uses allowed in any district and not set forth above shall be determined by the planning commission and set forth as a condition to the granting of the use of permit for such use.
Section 23.64.190 (e)
Not less than one parking space for each four guest rooms in any hotel

PARKING REQUIRED
EMPLOYEE 5
1 / 4 GUEST ROOMS. . . . . 125 ROOMS 32
1 / 150 SF MEETING. . . . . 931 SF 6
1 / 300 SF KITCHEN. . . . . 875 SF 3
1 / 50 SF DINING. . . . . 1,600 SF 32
TOTAL: 78
DEDICATED HOLMAN SPACES 14
TOTAL REQUIRED 92

PARKING PROVIDED
On-Site Valet 55
On-Site Holman Dedicated 14
Off-Site Valet 28
TOTAL 97

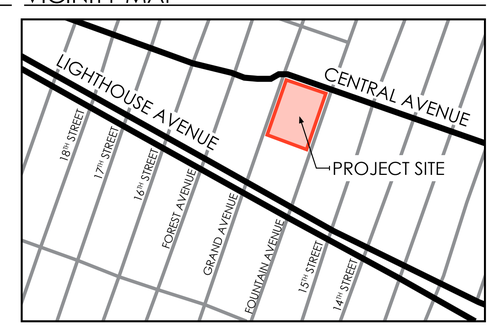
PROJECT INFORMATION

OWNER:
MR. NADER AGHA
449 ALVARADO STREET
MONTEREY, CA 93490

ARCHITECT:
VICTOR MONTGOMERY AIA
RRM DESIGN GROUP
3765 SOUTH HIGUERA STREET
SUITE 102
SAN LUIS OBISPO, CA 93401

SITE INFORMATION:
STREET ADDRESS:157 GRAND AVE.
APN: 006-173-001
ZONING: C-1-T

VICINITY MAP



SHEET INDEX

A.1 TITLE SHEET
A.2 ARCHITECTURAL SITE PLAN
A.3 DEMOLITION PLAN
A.4 OFF-SITE PARKING SITE PLAN
A.5 HOTEL ENTRY PERSPECTIVE
C.1 GRADING AND DRAINAGE
L.1 CONCEPTUAL LANDSCAPE PLAN
L.2 CONCEPTUAL PLANTING PLAN
A.6 GROUND FLOOR PLAN
A.7 SECOND FLOOR PLAN
A.8 THIRD FLOOR PLAN
A.9 FOURTH FLOOR PLAN
A.10 ROOF PLAN
A.11 EGRESS PLANS
A.12 BUILDING SECTIONS
A.13 BUILDING ELEVATIONS
A.14 BUILDING ELEVATIONS
A.15 BUILDING ELEVATIONS
A.16 ARCHITECTURAL DETAILS
A.17 CENTRAL AVE. & GRAND AVE. PERSPECTIVE
A.18 COLORS AND MATERIALS

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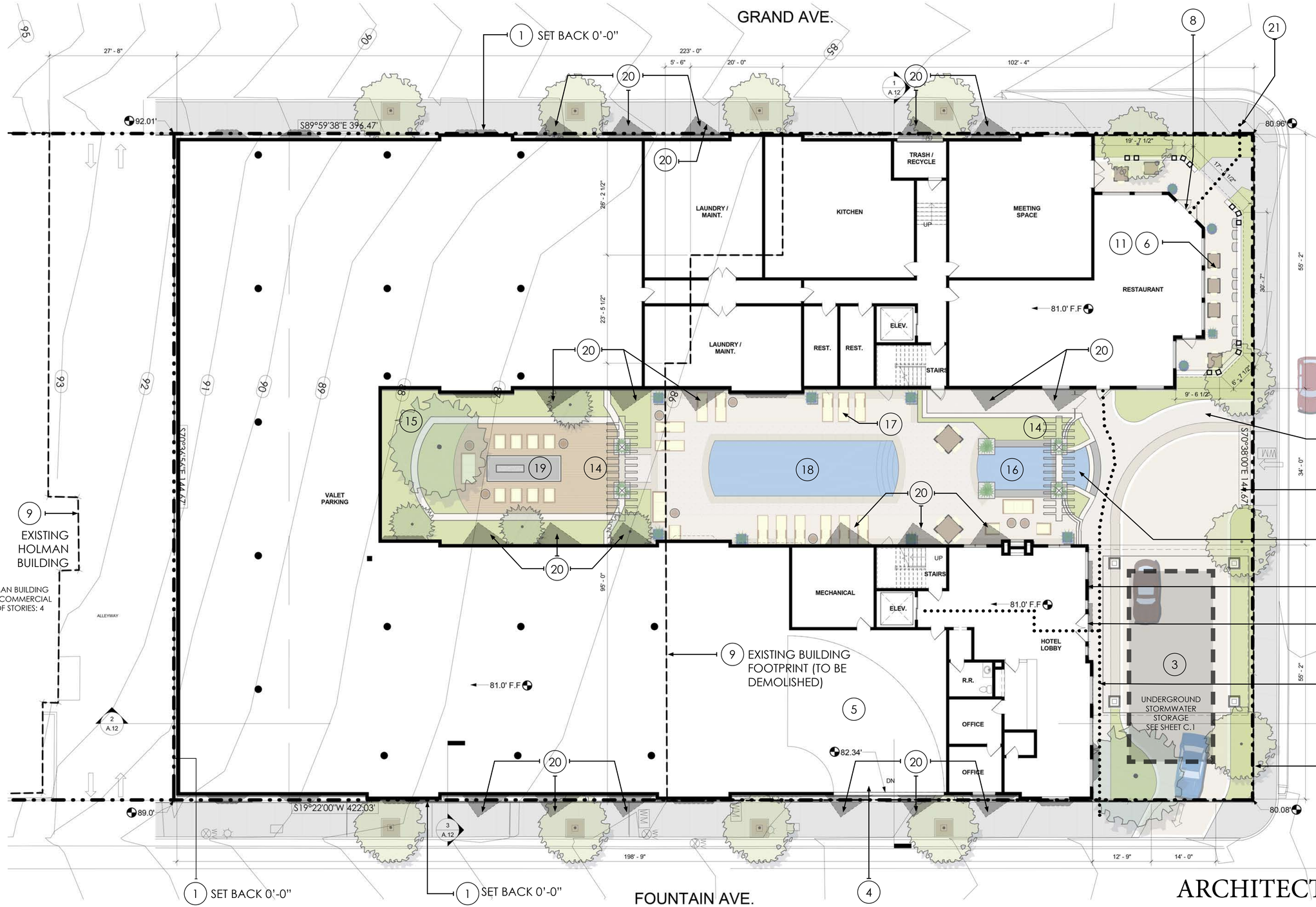
0123-01-CO15 DATE: JULY 2, 2016

HOTEL DURELL - PACIFIC GROVE

A.1



KEYED NOTES

1. Property Line
2. Vehicular Entry
3. Hotel Drop-Off
4. Valet/Garage Entry
5. Driveway Ramp
6. Outdoor Dining
7. Hotel Entry
8. Restaurant Entry
9. Existing Building
10. Walkway(s)
11. Patio
12. Trash Enclosure
13. Water Feature
14. Garden Arbor
15. Unpaved Area
16. Jacuzzi/Spa Pool
17. Pool Deck Furniture
18. Lap Pool
19. Fire Pit and Lounge Furniture
20. Balcony Overhang Above, 3'-9" Max. projection over right of way, See Sheets A.6 Ground Floor Plan and A.12 Section 3
21. Accessible Path of Travel

ARCHITECTURAL SITE PLAN

SCALE: 1"=10'

0 5 10 20 30

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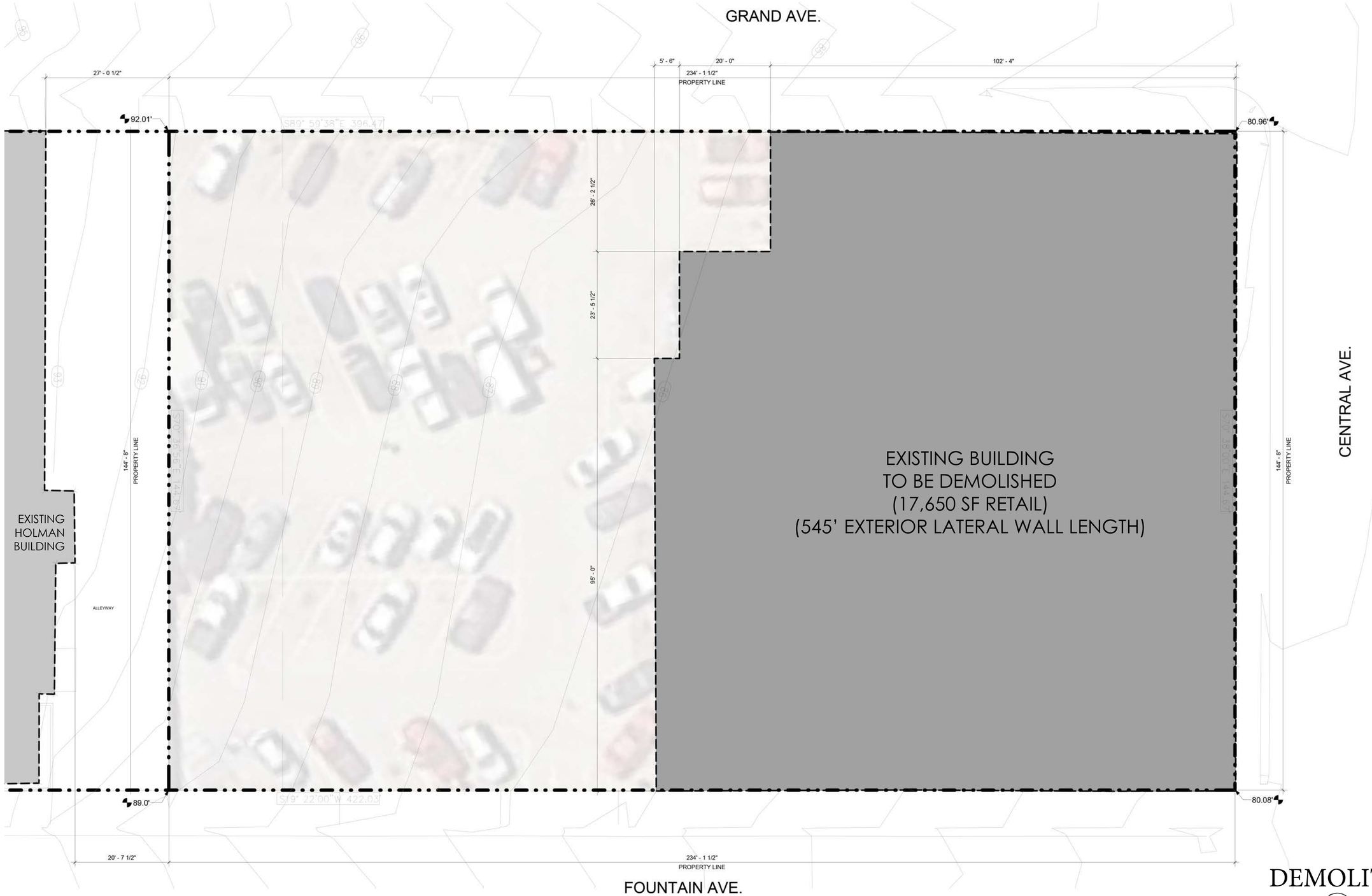
0123-01-CO15 DATE: JULY 2, 2016

HOTEL DURELL - PACIFIC GROVE

A.2



DEMOLITION PLAN

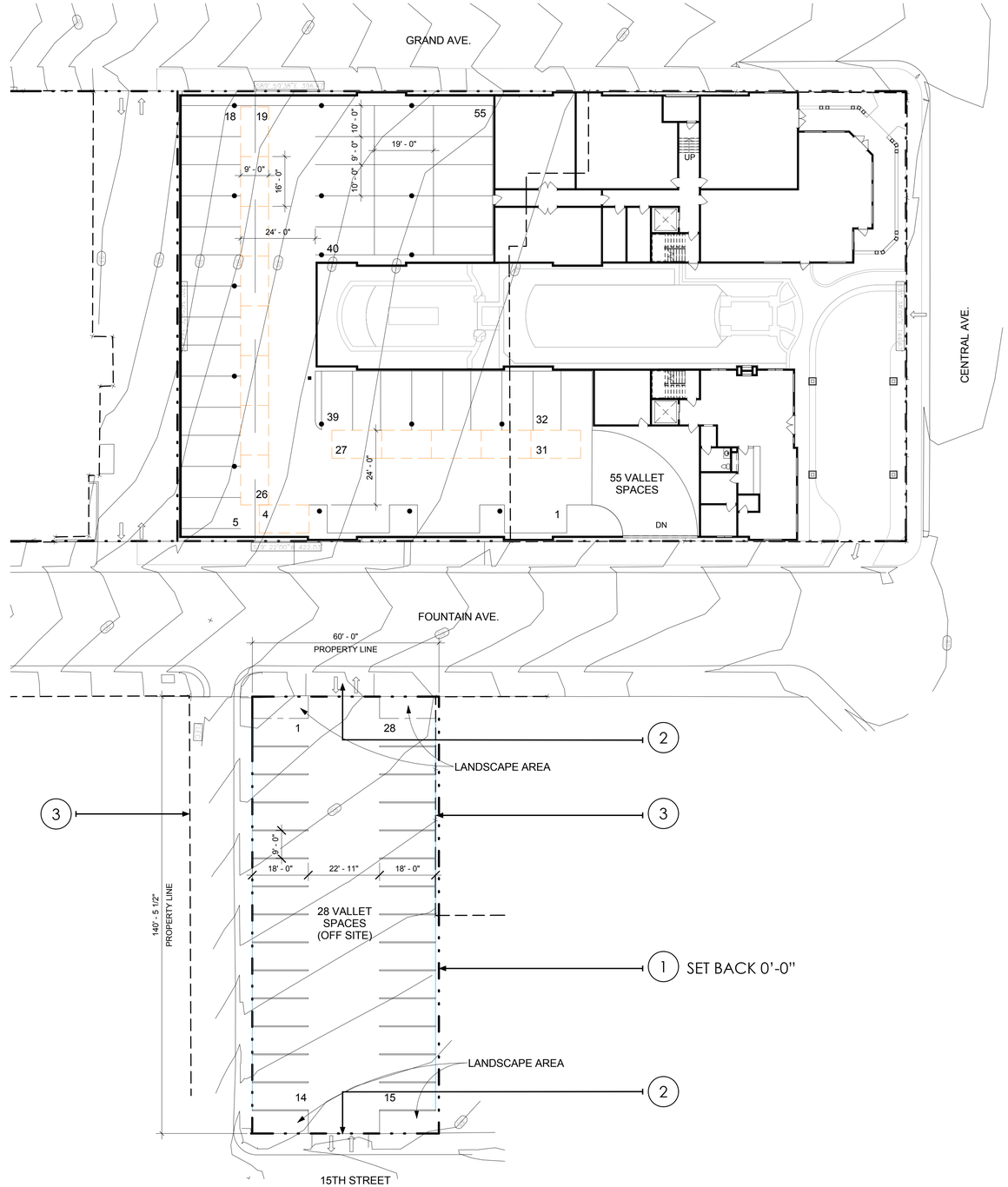
SCALE: 1"=10'

rrm design group

0123-01-CO15 DATE: JULY 2, 2016

HOTEL DURELL - PACIFIC GROVE

A.3



KEYED NOTES

1. Property Line
2. Valet/Garage Entry
3. Existing Building

OFF-SITE PARKING SITE PLAN

SCALE: 1"=20'

0 10 20 40 60

rrm design group

0123-01-CO15 DATE: JULY 2, 2016

HOTEL DURELL - PACIFIC GROVE

A.4

HOTEL ENTRY PERSPECTIVE

CORNER OF CENTRAL AVE. AND FOUNTAIN AVE.

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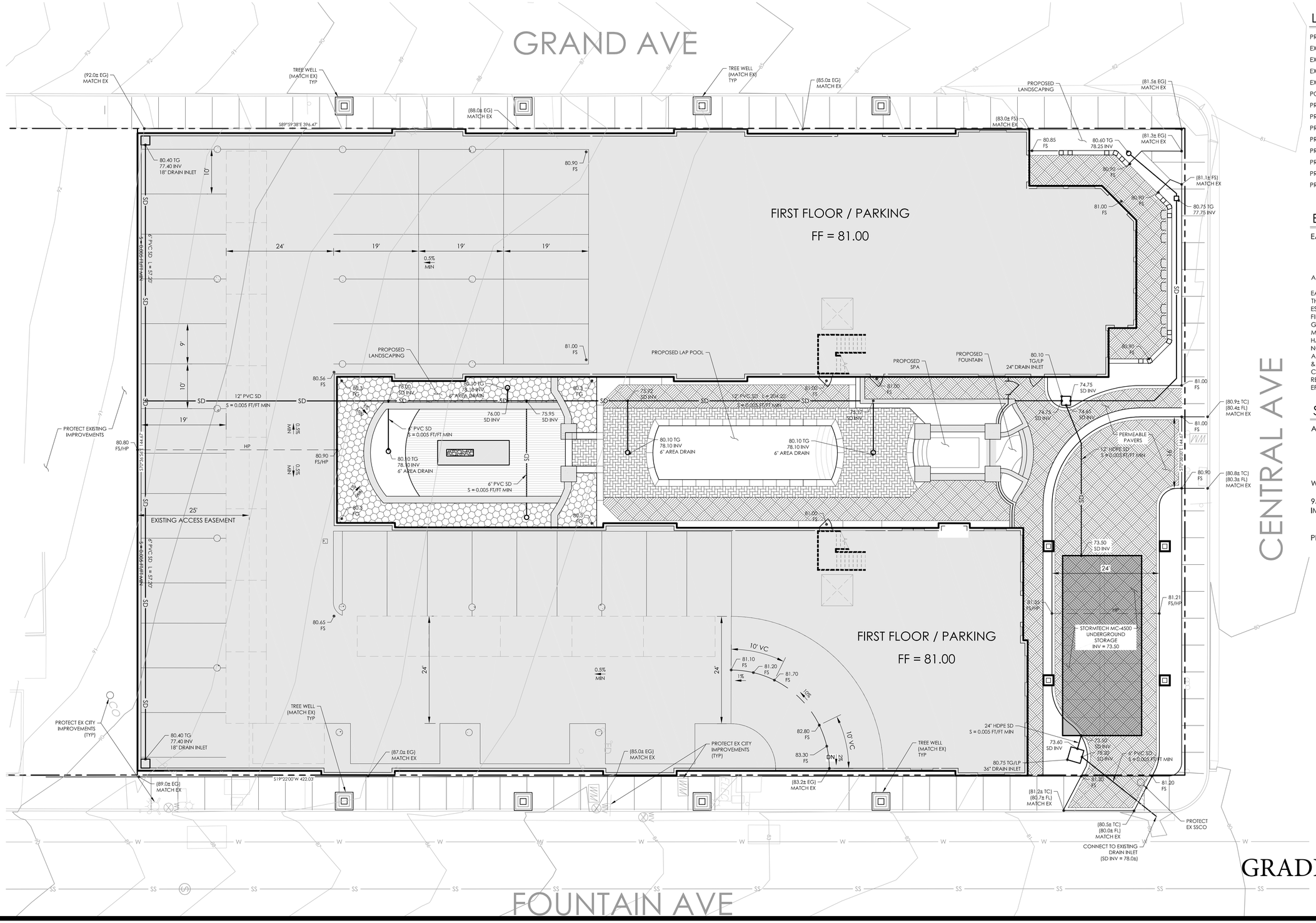
0123-01-CO15 DATE: JULY 2, 2016

HOTEL DURELL - PACIFIC GROVE

A.5



LEGEND

PROJECT BOUNDARY	
EXISTING WATER LINE	W
EXISTING SEWER LINE	SS
EXISTING FIRE HYDRANT	
EXISTING TREE LINE	
POPOSED CLEANOUT	
PROPOSED SETBACK	
PROPOSED WALKWAY	
PROPOSED CONC. CURB	
PROPOSED 8" WATER	W
PROPOSED 8" SEWER	SS
PROPOSED STORM DRAIN	RW
PROPOSED 8" RECYCLED WATER	SD
PROPOSED WALL	

EARTHWORK SUMMARY

EARTHWORK

RAW CUT:	+4,500 cu yd
RAW FILL:	0 cu yd
RAW NET:	+4,500 cu yd

AREA OF DISTURBANCE: 34,000 sf (0.78 ac)

EARTHWORK SHALL CONSIST OF RESTORATIVE GRADING ONLY. THE RAW EARTHWORK QUANTITIES SHOWN HEREON REPRESENT THE ESTIMATED VOLUMETRIC DIFFERENCE BETWEEN THE PROPOSED FINISHED GRADES AND THE (LIMITED) TOPOGRAPHIC EXISTING GRADES. THESE QUANTITIES EXCLUDE THE VOLUME OF STRUCTURAL MATERIALS NEEDED FOR BACKFILL, ROADWAY, AND OTHER HARD-SCAPE IMPROVEMENTS. FURTHERMORE, THESE ESTIMATES DO NOT CONSIDER LOSSES OR BULKING DUE TO: SHRINKAGE, SOIL AMENDMENTS, STABILIZATION, CONSTRUCTION TECHNIQUE, FOOTING & TRENCHING SPOILS, ETC. THESE, IN ADDITION TO ACTUAL FIELD CONDITIONS, CONSTRUCTION TECHNIQUE AND THE FINAL RECOMMENDATIONS OF THE SOILS ENGINEER MAY SIGNIFICANTLY EFFECT THE FINAL IMPORT/EXPORT QUANTITIES.

STORMWATER SUMMARY

AREA CALCULATION:

NEW IMPERVIOUS:	0 sq ft
REPLACED IMPERVIOUS:	25,200 sq ft
EXISTING IMPERVIOUS:	33,875 sq ft
TOTAL IMPERVIOUS:	25,200 sq ft

WATERSHED MANAGEMENT ZONE 4

95th PERCENTILE DEPTH = 1.2"
IMPERVIOUS AREA * 1.2" = TOTAL REQUIRED STORAGE
= 2,520 cu ft

PROPOSED STORAGE = 3,200 cu ft

GRADING AND DRAINAGE

SCALE: 1"=10'

0 5 10 20 30

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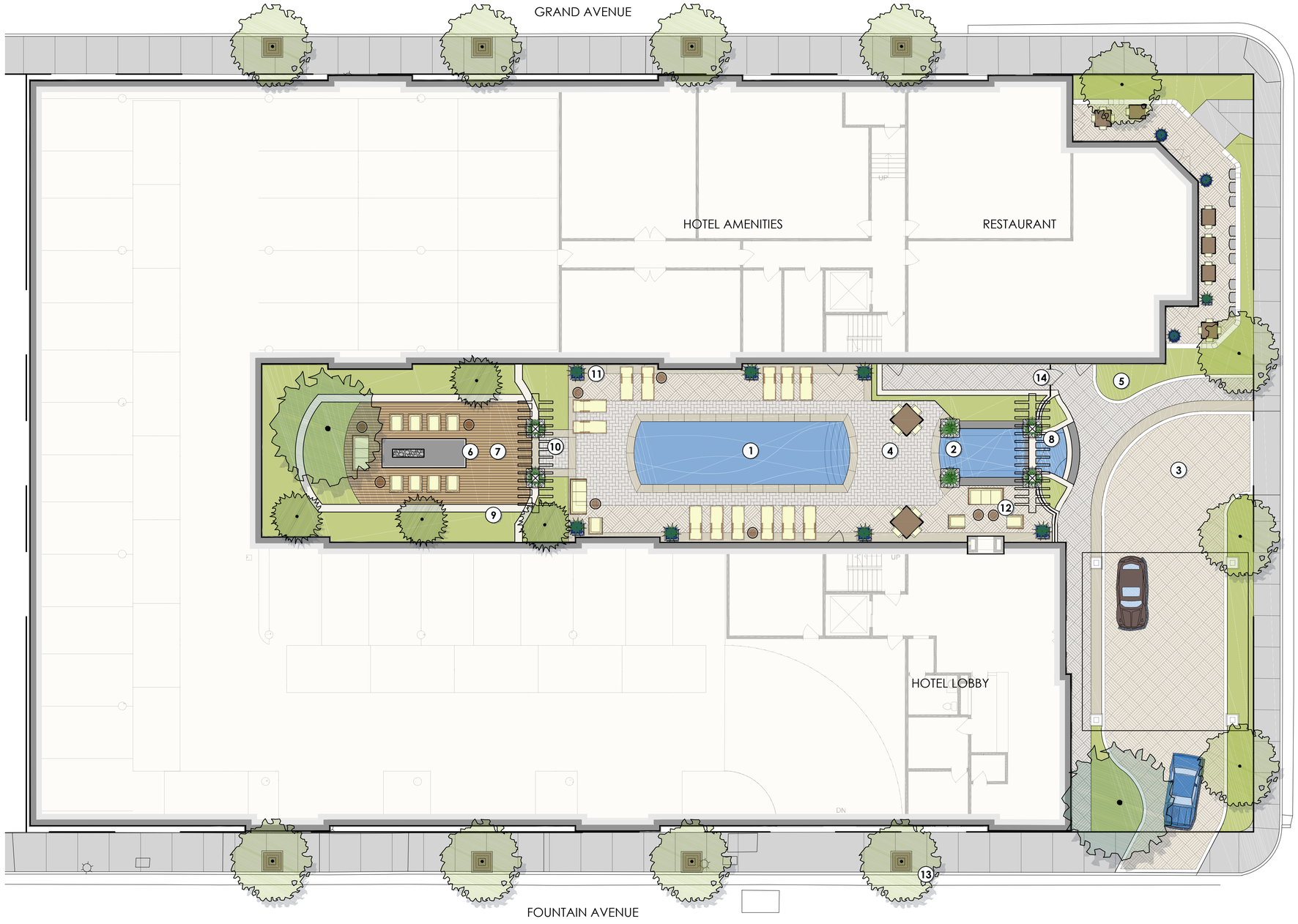
0123-01-CO15 DATE: JULY 2, 2016

HOTEL DURELL - PACIFIC GROVE

C.1



IRRIGATION DESIGN CRITERIA:

THE IRRIGATION DESIGN WILL COMPLY WITH THE LOCAL AND THE STATE WATER CONSERVATION REQUIREMENTS. THE WATER CONSERVATION METHOD FOR THE NEW LANDSCAPE PLANT MATERIAL HAS A LOW TO MEDIUM WATER USE.

A WEATHER SENSING, 'SMART CONTROLLER' WILL BE USED TO MONITOR THE IRRIGATION WATER AND MANAGE DAILY WATER CONSUMPTION TO THE MINIMUM REQUIREMENTS FOR EACH HYDROZONE.

ALL TREES, POTTERY, SHRUB AND GROUNDCOVER AREAS WILL BE IRRIGATED ON SEPARATE HYDROZONES, SO THAT ONCE ESTABLISHED, WATER CAN BE REGULATED IN A MORE EFFICIENT MANNER.

TREES AND POTTERY WILL BE IRRIGATED BY BUBBLERS. ALL OTHER PLANTING WILL RECEIVE DRIP IRRIGATION.

LANDSCAPE PLAN KEY:

1. POOL - 485sf
2. SPA - 142sf
3. DECORATIVE VEHICULAR PERMEABLE PAVERS, TYP.
4. DECORATIVE PEDESTRIAN PERMEABLE PAVERS, TYP.
5. PLANTING, TYP. SEE PLANTING LEGEND.
6. FIRE TABLE
7. WOODEN DECKING WITH LOUNGE SEATING
8. WATER WALL FOUNTAIN WITH BUILT IN SEATING
9. LANDSCAPE PLANTER WALL, TYP.
10. DECORATIVE OVERHEAD ARBOR WITH VINES IN POTS AT BASE
11. POTTERY, TYP.
12. SEATING AT DOUBLE SIDED FIREPLACE
13. CITY APPROVED STREET TREE AND TREE GRATE, TYP.
14. DECORATIVE FENCING AND EGRESS GATE

GRAPHIC SCALE

(In Feet)
1 inch = 10 feet

CONCEPTUAL LANDSCAPE PLAN

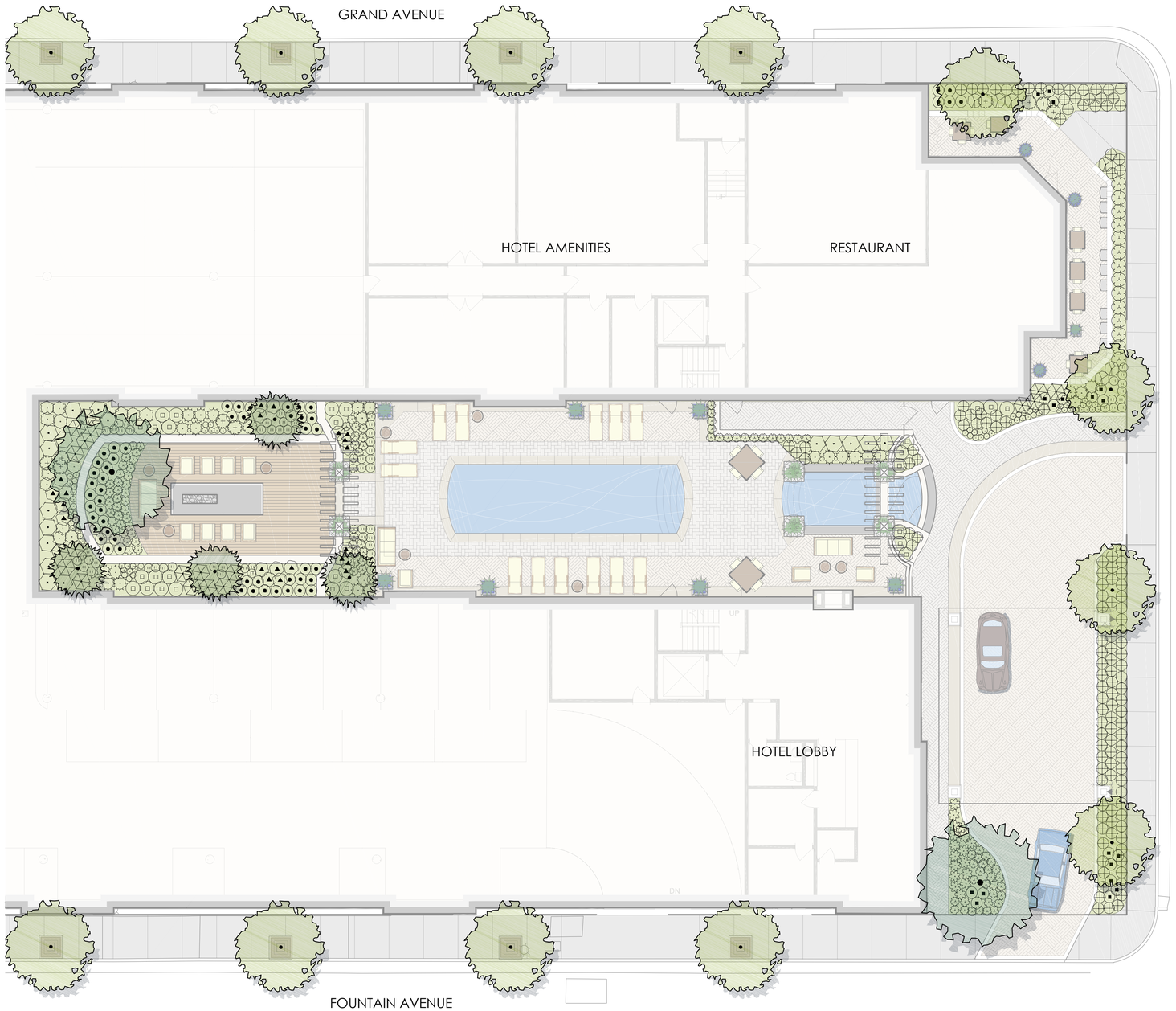
0 5 10 20 30

rrm design group

0123-01-CO15 DATE: JULY 2, 2016

HOTEL DURELL - PACIFIC GROVE

L.1



PROPOSED PLANT SCHEDULE:

TREES	BOTANICAL NAME	COMMON NAME	CONT
	MAGNOLIA X SOULANGIANA	SAUCER MAGNOLIA MULTI-TRUNK	36"BOX
	OLEA EUROPAEA `SWAN HILL` TM	SWAN HILL OLIVE	FIELD GROWN
	PYRUS CALLERYANA `CHANTICLEER`	CHANTICLEER PEAR	24"BOX
SHRUBS	**BOTANICAL NAME**	**COMMON NAME**	**CONT**
	ALPINIA ZERUMBET `VARIEGATA`	VARIEGATED SHELL GINGER	5 GAL
	ANIGOZANTHOS SPECIES	KANGAROO PAW	5 GAL
	CALAMAGROSTIS X ACUTIFLORA `KARL FOERSTER`	FEATHER REED GRASS	5 GAL
	CAREX DIVULSA	BERKELEY SEDGE	1 GAL
	CHONDROPETALUM TECTORUM `EL CAMPO`	CAPE RUSH	5 GAL
	DIANELLA CAERULEA `CASSA BLUE`	CASSA BLUE FLAX LILY	3 GAL
	FICUS PUMILA `VARIEGATA`	VARIEGATED CREEPING FIG	5 GAL
	HARDENBERGIA VIOLACEA	LILAC VINE	15GA STAKED
	HEUCHERA SANGUINEA	CORAL BELLS	1 GAL
	HYDRANGEA QUERCIFOLIA `SNOW QUEEN`	SNOW QUEEN OAKLEAF HYDRANGEA	5 GAL
	LEUCADENDRON X `WILSON'S WONDER`	CONEBUSH	5 GAL
	LOMANDRA LONGIFOLIA `BREEZE`	DWARF MAT RUSH	5 GAL
	LOROPETALUM CHINENSE `PETITE DELIGHT`	PETITE DELIGHT FRINGE	5 GAL
	NEPHROLEPIS CORDIFOLIA	TUBEROUS SWORD FERN	5 GAL
	PHORMIUM X `SEA JADE`	NEW ZEALAND FLAX	5 GAL
	PHORMIUM X `SHIRAZ`	NEW ZEALAND FLAX	5 GAL
	POLYGALA FRUTICOSA `PETITE BUTTERFLY`	SWEET PEA SHRUB	5 GAL
	SOLANUM JASMINOIDES	POTATO VINE	15GA STAKED
	WOODWARDIA FIMBRIATA	GIANT CHAIN FERN	5 GAL

GRAPHIC SCALE
10 0 5 10 20 40
(In Feet)
1 inch = 10 feet

CONCEPTUAL PLANTING PLAN

0 5 10 20 30

rrm design group

0123-01-CO15 DATE: JULY 2, 2016

HOTEL DURELL - PACIFIC GROVE

L.2

KEYED NOTES

1. Property Line
2. Vehicular Entry
3. Hotel Drop-Off
4. Valet/Garage Entry
5. Driveway Ramp
6. Outdoor Dining
7. Hotel Entry
8. Restaurant Entry
9. Existing Building
10. Walkway(s)
11. Patio
12. Trash Enclosure
13. Tandem Stall Valet Parking Area
14. Valet Aisle Parking Spaces (Compact)
15. Balcony Overhang Above

GROUND FLOOR PLAN

SCALE: 1"=10'

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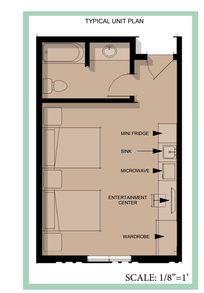
0123-01-CO15 DATE: JULY 2, 2016

HOTEL DURELL - PACIFIC GROVE

A.6

KEYED NOTES

1. Lounge
2. Exit Stairway
3. Elevator
4. Ice Machine
5. Accessible Room



A

SECOND FLOOR PLAN

SCALE: 1"=10'

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0123-01-CO15 DATE: JULY 2, 2016

HOTEL DURELL - PACIFIC GROVE

A.7

KEYED NOTES

1. Lounge
2. Exit Stairway
3. Elevator
4. Ice Machine
5. Accessible Room

THIRD FLOOR PLAN

SCALE: 1"=10'

rrm design group

0123-01-CO15 DATE: JULY 2, 2016

HOTEL DURELL - PACIFIC GROVE

A.8

KEYED NOTES

1. Lounge
2. Exit Stairway
3. Elevator
4. Ice Machine
5. Accessible Room

FOURTH FLOOR PLAN

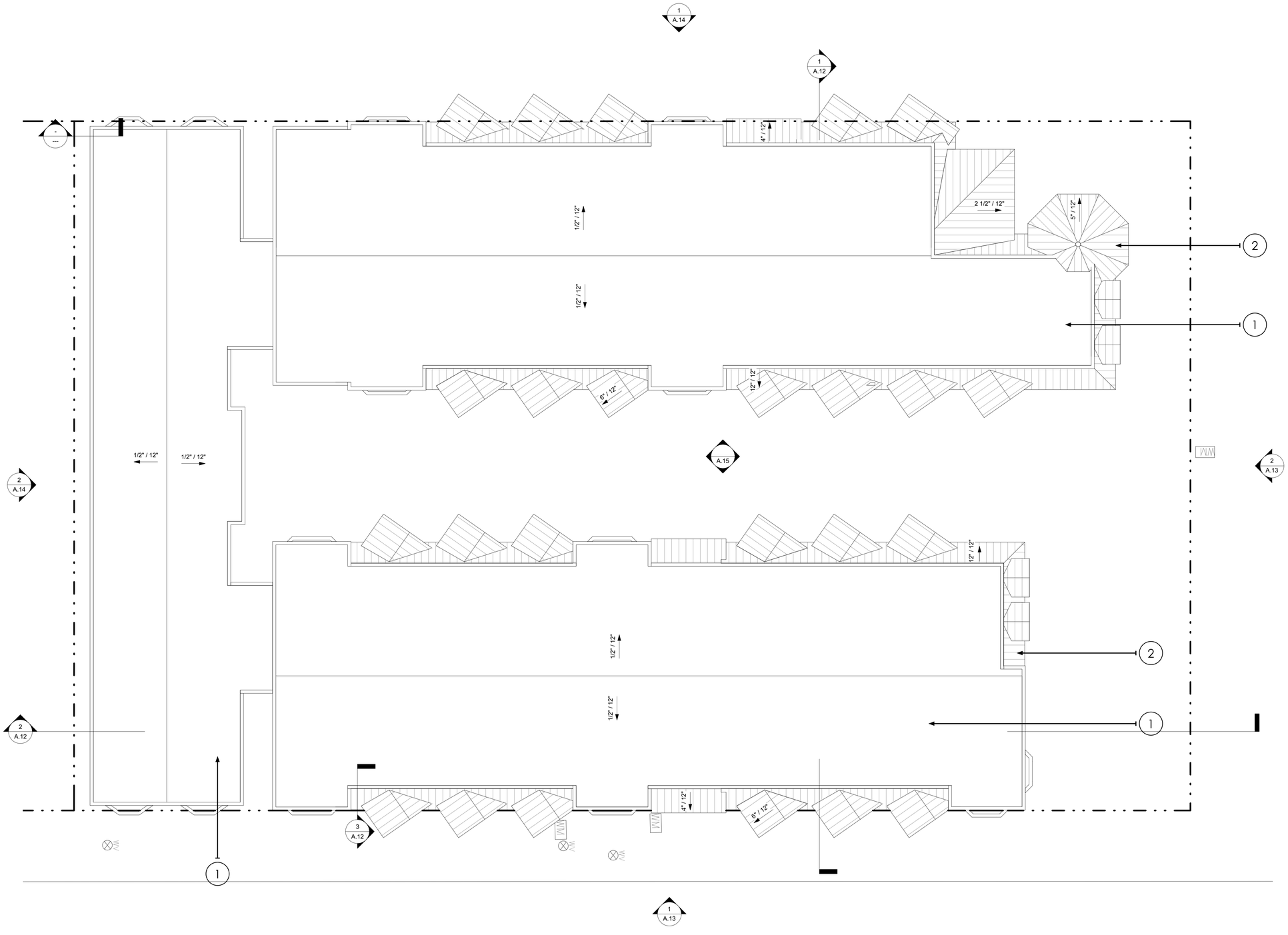
SCALE: 1"=10'

rrm design group

0123-01-CO15 DATE: JULY 2, 2016

HOTEL DURELL - PACIFIC GROVE

A.9



KEYED NOTES

1. Flat Roof
2. Standing Seam Metal Roof

ROOF PLAN

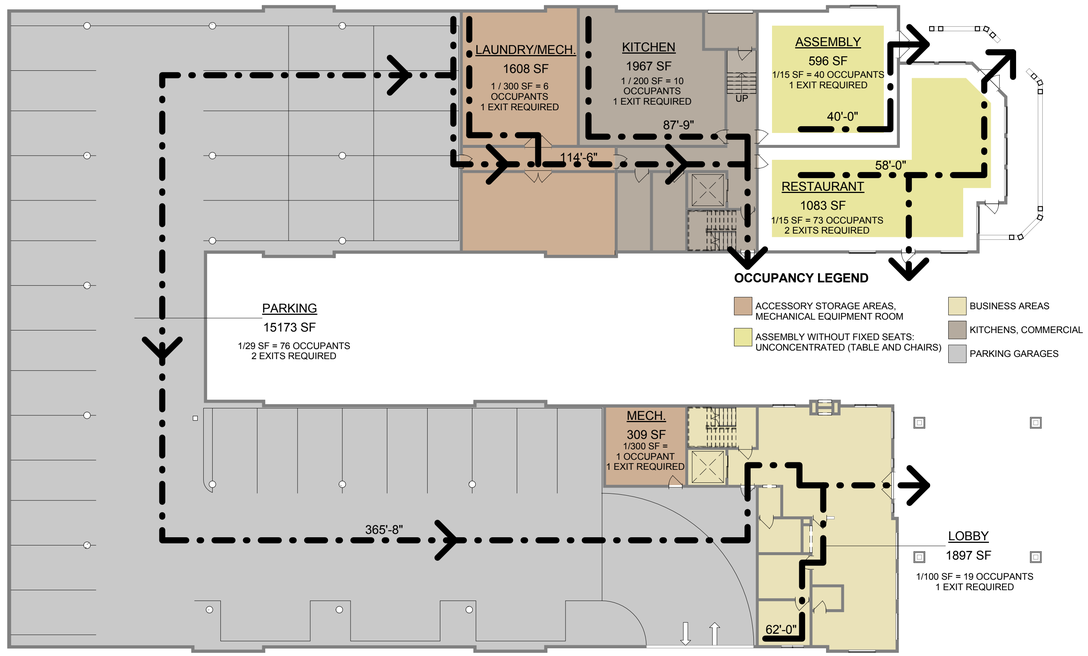
SCALE: 1"=10'

rrm design group

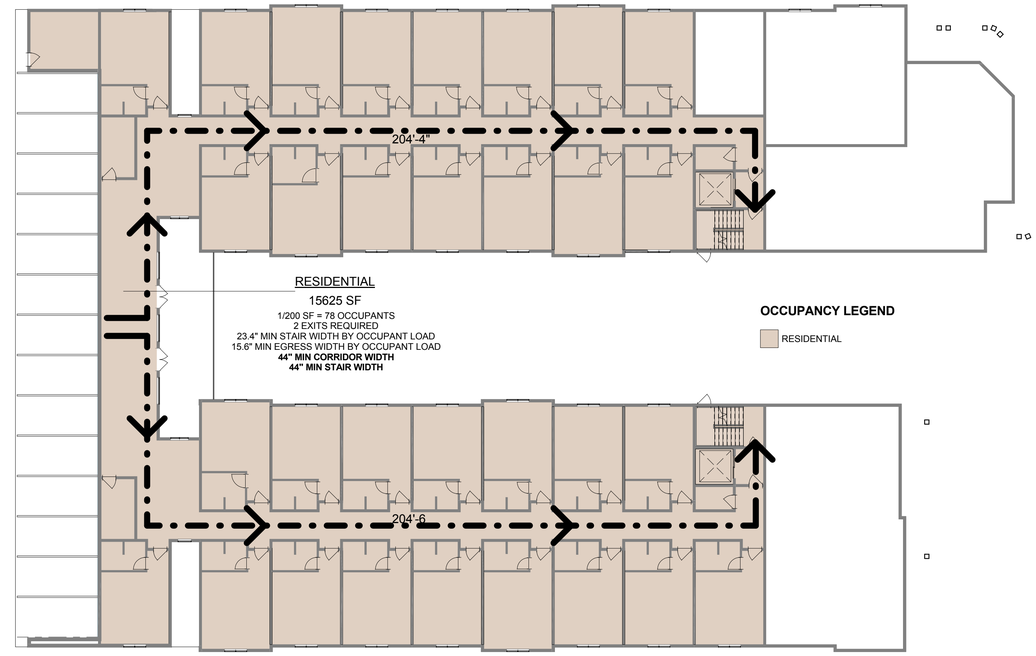
0123-01-CO15 DATE: JULY 2, 2016

HOTEL DURELL - PACIFIC GROVE

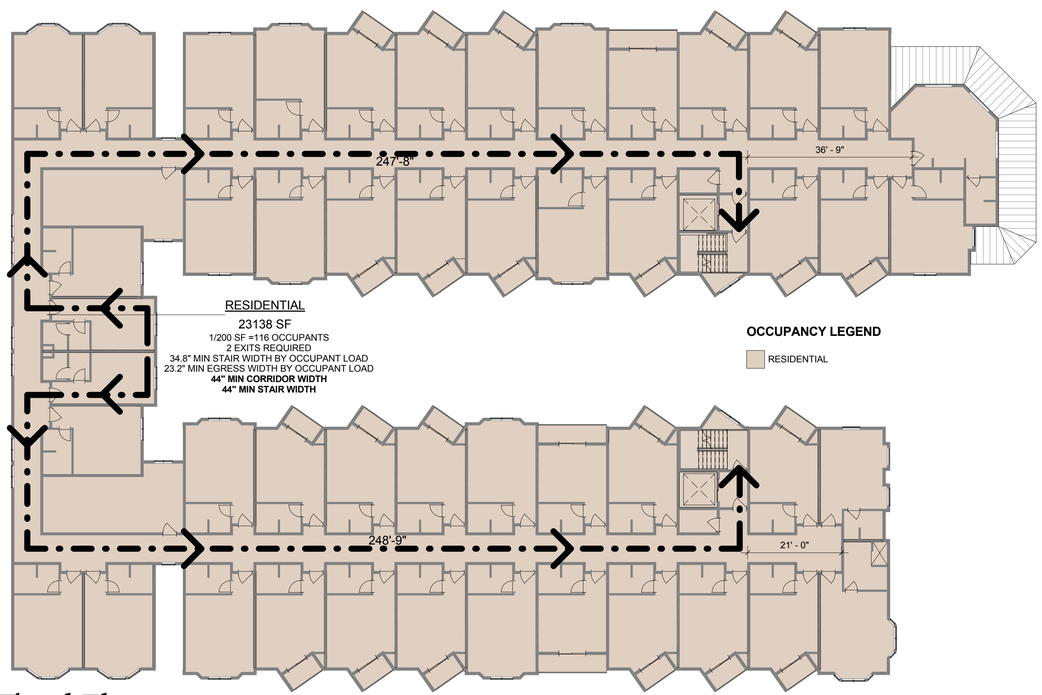
A.10



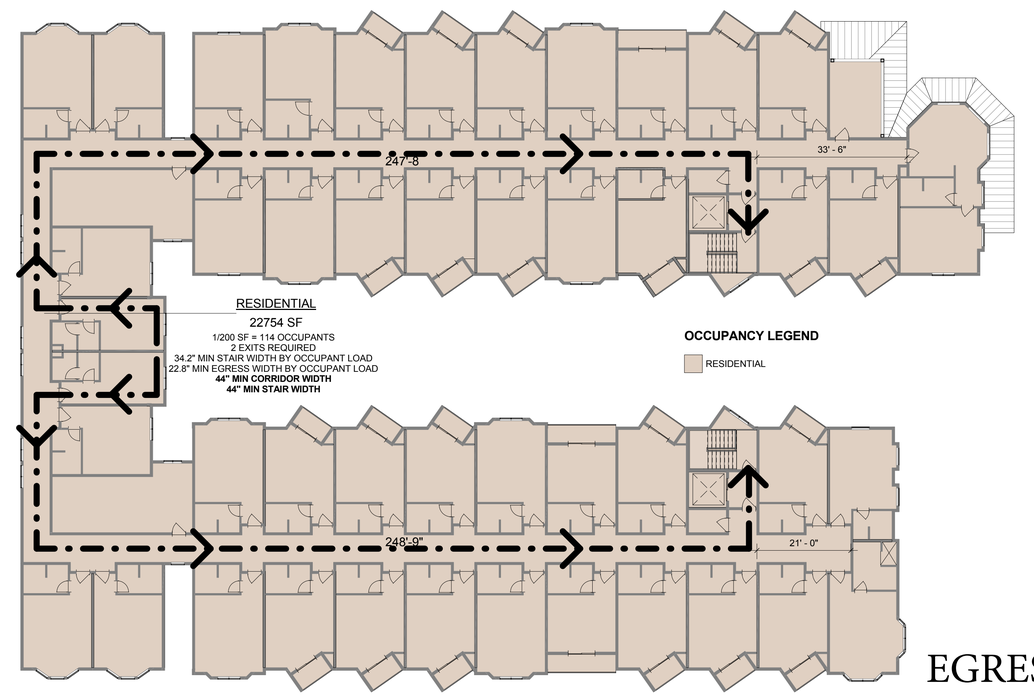
Ground Floor



Second Floor



Third Floor



Fourth Floor

EGRESS PLANS

SCALE: 1/16"=1'

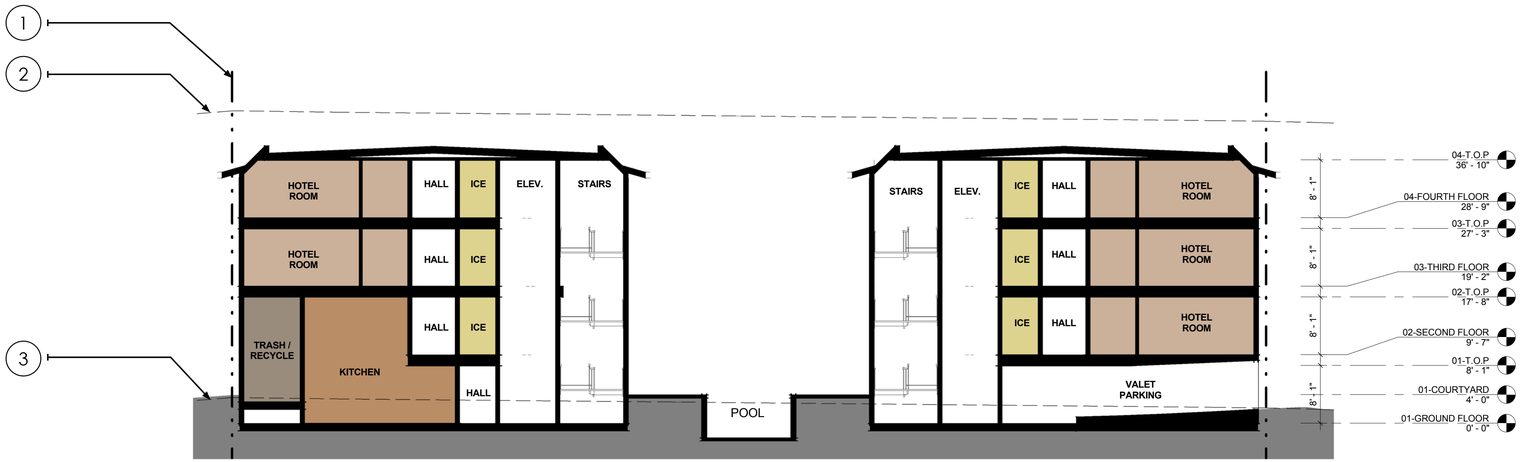
0 8 16 32 48

rrm design group

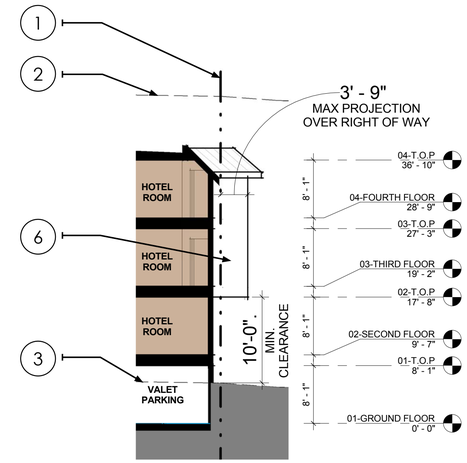
0123-01-CO15 DATE: JULY 2, 2016

HOTEL DURELL - PACIFIC GROVE

A.11



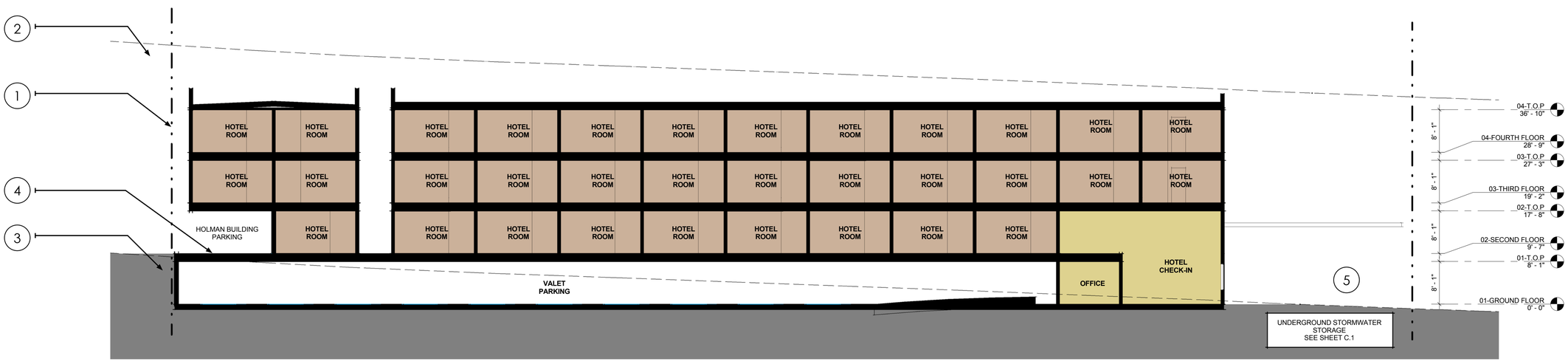
Section 1



Section 3

KEYED NOTES

1. Property Line
2. 40' Height limit from existing grade
3. Existing Grade
4. Holman Building Parking
5. Hotel Drop Off
6. Hotel Room Balcony



Section 2

BUILDING SECTIONS

SCALE: 1"=10'

rrm design group

0123-01-CO15 DATE: JULY 2, 2016

HOTEL DURELL - PACIFIC GROVE

A.12

1. FOUNTAIN AVE. ELEVATION

2. CENTRAL AVE. ELEVATION

KEYED NOTES

1. 40' Height limit from existing grade
2. Horizontal Siding
3. Stone Veneer
4. Signage
5. Metal Roofing
6. Painted Trim and Paneling
7. Holman Building
8. Property Line

BUILDING ELEVATIONS

SCALE: 1"=10'

rrm design group

0123-01-CO15 DATE: JULY 2, 2016

HOTEL DURELL - PACIFIC GROVE

A.13

1. GRAND AVE. ELEVATION

2. ALLEYWAY ELEVATION

KEYED NOTES

1. 40' Height limit from existing grade
2. Horizontal Siding
3. Stone Veneer
4. Signage
5. Metal Roofing
6. Painted Trim and Paneling
7. Holman Building
8. Property Line

BUILDING ELEVATIONS

SCALE: 1"=10'

rrm design group

0123-01-CO15 DATE: JULY 2, 2016

HOTEL DURELL - PACIFIC GROVE

A.14

1. COURTYARD ELEVATION

2. COURTYARD ELEVATION

KEYED NOTES

1. 40' Height limit from existing grade
2. Horizontal Siding
3. Stone Veneer
4. Exterior Fireplace
5. Metal Roofing
6. Painted Trim and Paneling
7. Holman Building
8. Property Line
9. Dedicated Holman Parking
10. Valet Parking

BUILDING ELEVATIONS

SCALE: 1"=10'

rrm design group

0123-01-CO15 DATE: JULY 2, 2016

HOTEL DURELL - PACIFIC GROVE

A.15

STOREFRONT AWNING

CORNICE DETAIL

BALCONY ROOF

BALCONY RAILING

TYPICAL WINDOW TRIM

BAY WINDOW

KEYED NOTES

(Materials per sheet A.18)

1. 6" Cement Fiber Lap Horizontal Siding
2. Stone Veneer
3. Metal Roofing
4. Painted Trim and Paneling
5. Fabric Awnings
6. White aluminum window and Door Frames
7. Pre-Molded cornice detail painted to match trim and paneling

ARCHITECTURAL DETAILS

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HOTEL DURELL - PACIFIC GROVE

A.16

CENTRAL AVE. & GRAND AVE. PERSPECTIVE

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HOTEL DURELL - PACIFIC GROVE

A.17

1. HORIZONTAL SIDING:
SHERWIN WILLIAMS PAINT
SVELTE SAGE SW6165

2. HORIZONTAL SIDING:
SHERWIN WILLIAMS PAINT
MUSLIN SW6133

3. TRIM, FACIA AND PANELING:
SHERWIN WILLIAMS PAINT
PURE WHITE SW7005

4. STONE:
EL DORADO STONE
RUSTIC LEDGE IN PINETOP

5. AWNINGS:
SUNBRELLA FABRICS IN COCOA

6. METAL ROOFING:
STANDING SEAM METAL ROOF
AEP SPAN IN PARCHMENT

7. WINDOW FRAMES:
WHITE ALUMINUM WINDOWS

COLOR MATERIALS

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HOTEL DURELL - PACIFIC GROVE

A.18