

BUILDING CODE ANALYSIS

REFERENCE CODES

2013 CALIFORNIA BUILDING CODE
2012 INTERNATIONAL BUILDING CODE

OCCUPANCY USE AND CLASSIFICATION

SECTION 310 & 311

THE PROPOSED BUILDING CONSISTS OF 3 STORIES OF HOTEL OVER 1 STORY OF VALET PARKING

LEVEL 0 (GROUND LEVEL)

PARKING..... S-2

LEVELS 1-3

HOTEL R-1

CONSTRUCTION TYPE

SECTION 602

Parking TYPE V-A
Hotel TYPE V-A

TABLE 601

Structural Frame, Bearing Walls
& Floor Construction: 1-Hour Rating
Interior non-load bearing partitions:No Protection Required
Roof Construction: 1-Hour rating

ALLOWABLE HEIGHT AND AREA

SECTION 503

HOTEL
CONSTRUCTION TYPE TYPE V-A
OCCUPANCY TYPE R-1
BASIC ALLOWABLE AREA 12,000 SF
PER STORY
BASIC ALLOWABLE HEIGHT 3 STORIES

PARKING

CONSTRUCTION TYPE TYPE V-A
OCCUPANCY TYPE S-2
BASIC ALLOWABLE AREA 21,000 SF
BASIC ALLOWABLE HEIGHT 4 STORIES

ACTUAL BUILDING HEIGHT

HOTEL (R-1): THREE LEVELS;
MAXIMUM
HEIGHT > 40 FT
PARKING (S-2): ONE LEVEL

AUTOMATIC SPRINKLER SYSTEM

SECTION 903.2.1

AN AUTOMATIC FIRE SUPPRESSION SYSTEM IS REQUIRED AND PROVIDED

AUTOMATIC SPRINKLER SYSTEM INCREASE

MODIFICATION

SECTION 506.3

THE AREAS LIMITED BY TABLE 503 MAY BE INCREASED BY AN ADDITIONAL 200% FOR BUILDINGS WITH MORE THAN ONE STORY ABOVE GRADE PLANE

MAXIMUM ALLOWABLE AREA WITH INCREASE
36,000 SF PER FLOOR

FIRE RESISTANCE

FIRE SEPARATION DISTANCE: WALLS

TABLE 602

5 < x < 10 ft. = 1 hour
x > 10 ft. = 0 hours

FIRE SEPARATION DISTANCE: OPENINGS

TABLE 705.8

3 ft. < x < 5 ft. = 15% allowable area can be unprotected openings
5 ft. < x < 10 ft. = 25% allowable area can be unprotected openings
10 ft. < x < 15 ft. = 45% allowable area can be unprotected openings

ACCESSIBILITY

Per California Building Code

Section 1111B.4.3

Required: 7 Fully Accessible Rooms
(2 require roll-in showers)
5 Hearing Impaired Accessible Rooms
Provided: 7 Fully Accessible Rooms
(2 with roll-in showers)
5 Hearing Impaired Accessible Rooms



RESTAURANT AND PLAZA PERSPECTIVE
CORNER OF GRAND AVE. AND CENTRAL AVE.

ZONING CODE ANALYSIS

PROPERTY ADDRESS: 157 Grand Avenue
APN: 006-173-001
GENERAL PLANNING AREA:
ZONING DESIGNATION: C-1-T

ITEM	PERMITTED / REQUIRED	PROVIDED
Lot Area.....	As per development permit.....	33,875 SF
Building Height Limit.....	40' From Ext. Grade.....	40'
	(With site coverage < 75%)	
Front Yard Setback (Street X).....	0'	0'
Street Side yard Setback(STREET Y&Z).....	0'	0'
Rear Yard Setback (New Property Line).....	0'	0'
Parking Spaces.....	90.....	113

SITE COVERAGE

LOT AREA.....33,875 SF
ALLOWED COVERAGE (PER 23.31.040)25,406 SF (ALLOWED 75%)

BUILDING FOOTPRINT21,800 SF
COVERED OUTDOOR AREA2,773 SF
WALLS AND NON PERMIABLE783 SF
TOTAL.....25,356 SF

ALLOWABLE EXCLUSIONS

DRIVEWAY400 SF
WALKWAY60 SF
ADJUSTED TOTAL.....24,896 SF (PROPOSED 73%)

BUILDING INFORMATION

GROSS BUILDING AREA

HOTEL: 116 ROOMS

GROUND FLOOR - COMMON: 1,363 SF
GROUND FLOOR - MAINT.: 1,252 SF
SECOND FLOOR: 13,635 SF
THIRD FLOOR: 22,250 SF
FOURTH FLOOR: 20,100 SF
TOTAL: 58,600 SF

RESTAURANT/CONFERENCE:

GROUND LEVEL: 3,815 SF

PARKING:

GROUND LEVEL: 13,767 SF
(DEDICATED LOT: 8,427 SF)

TOTAL GROSS AREA76,182 SF

UNIT COUNT

SECOND FLOOR: 27 ROOMS
THIRD FLOOR: 47 ROOMS
FOURTH FLOOR: 42 ROOMS
TOTAL: 116 ROOMS

LOT SIZE33,875 SF

LANDSCAPE AREAS

PAVERS: 7,460 SF
LANDSCAPE: 6,526 SF
DECK: 783 SF
TOTAL PROVIDED: 14,769 SF
(MINIMUM REQUIRED: 8,468 SF)

PARKING CALCULATIONS:

Per Pacific Grove Municipal Code
Section 23.64.190 (g)
Parking space required for other uses allowed in any district and not set forth above shall be determined by the planning commission and set forth as a condition to the granting of the use of permit for such use.
Section 23.64.190 (e)
Not less than one parking space for each four guest rooms in any hotel

PARKING REQUIRED

EMPLOYEE.....5
1 / 4 GUEST ROOMS.....116 ROOMS.....29
1 / 150 SF MEETING.....1,900 SF.....13
1 / 300 SF KITCHEN.....620 SF.....2
1 / 50 SF DINING.....1,470 SF.....30
TOTAL: 79

DEDICATED HOLMAN SPACES.....14
TOTAL REQUIRED.....90

PARKING PROVIDED

On-Site Valet.....51
On-Site Holman Dedicated.....14
Off-Site Valet.....48 (Mechanical Lifts)
TOTAL.....113

PROJECT INFORMATION

OWNER:

MR. NADER AGHA
449 ALVARADO STREET
MONTEREY, CA 93490

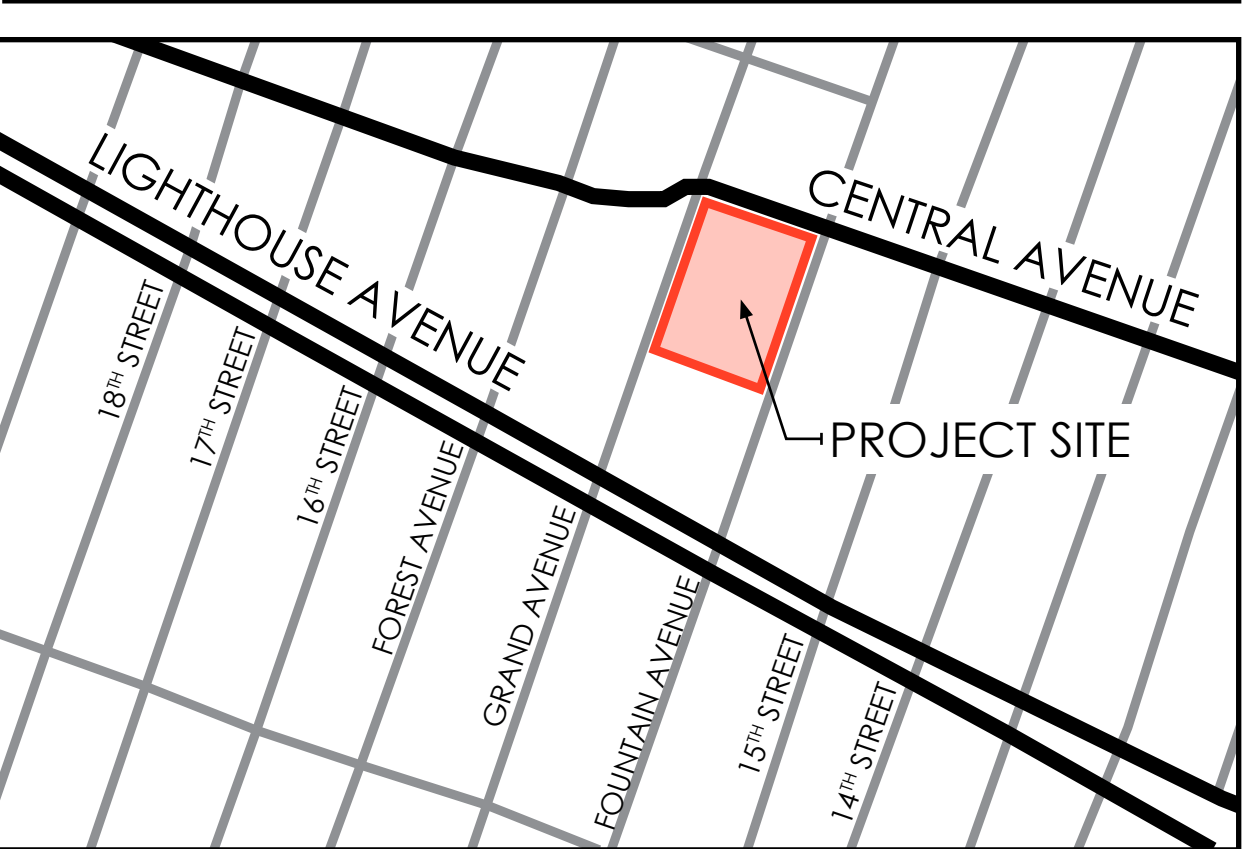
ARCHITECT:

VICTOR MONTGOMERY AIA
RRM DESIGN GROUP
3765 SOUTH HIGUERA STREET
SUITE 102
SAN LUIS OBISPO, CA 93401

SITE INFORMATION:

STREET ADDRESS:157 GRAND AVE.
APN: 006-173-001
ZONING: C-1-T

VICINITY MAP



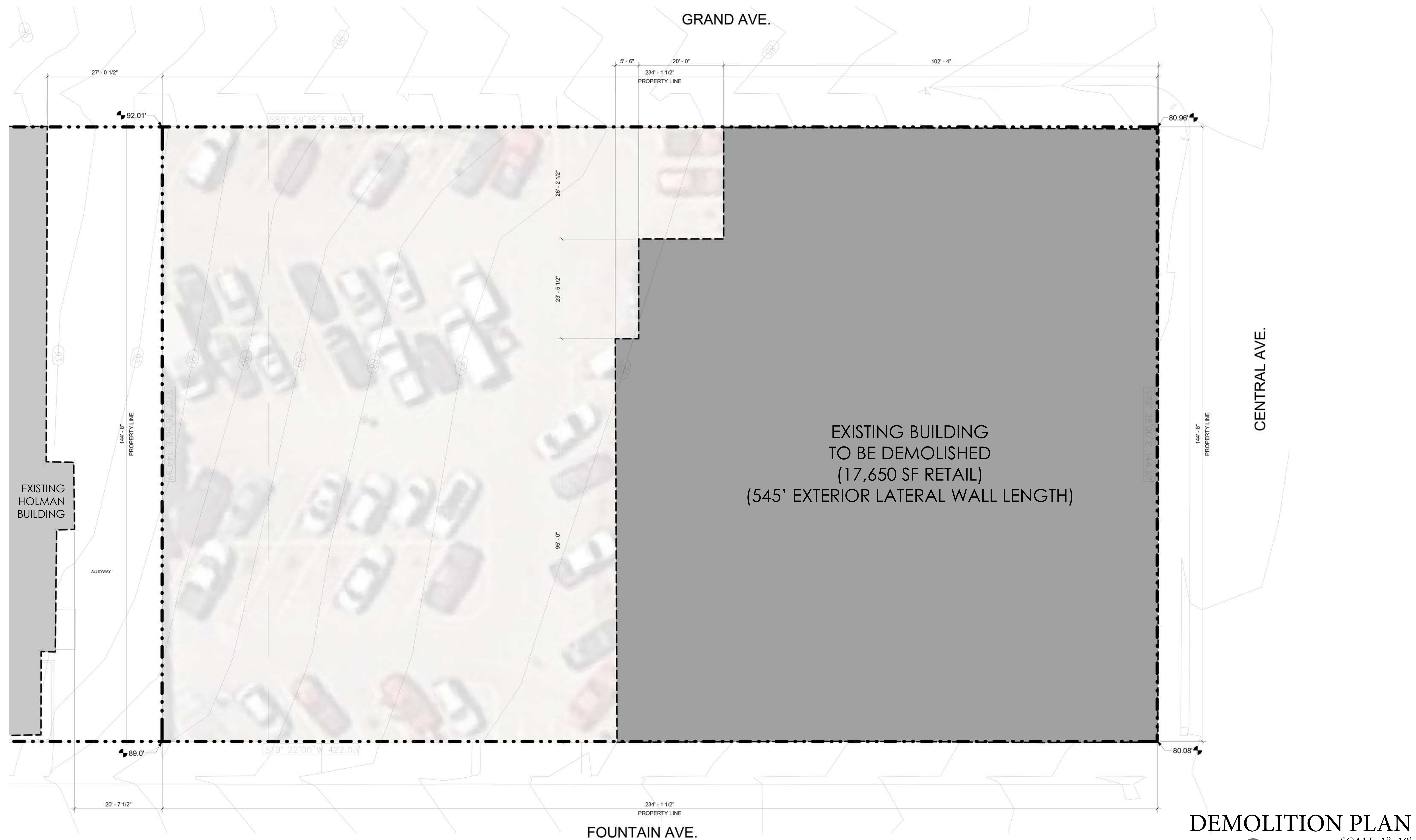
SHEET INDEX

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TITLE SHEET

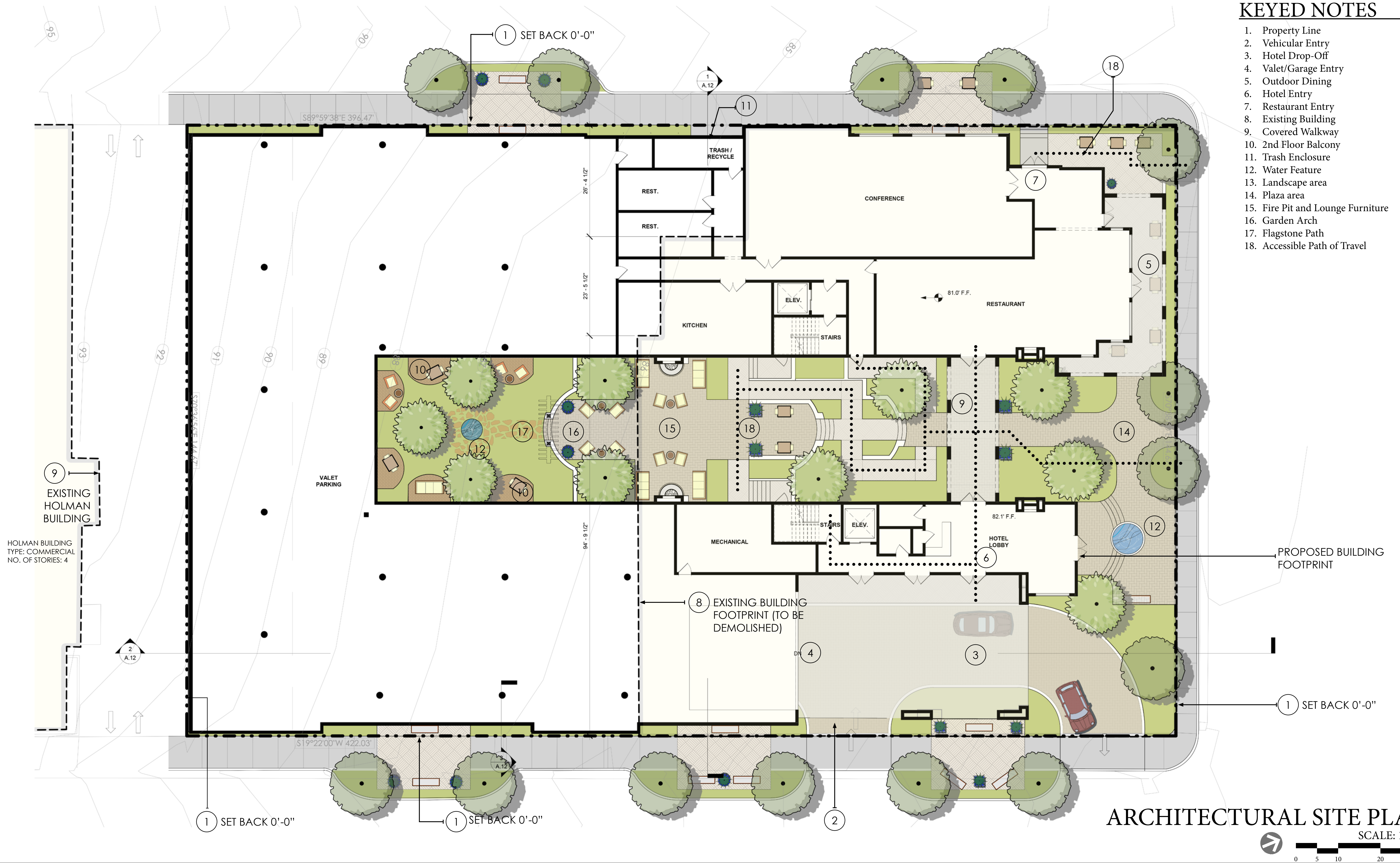


HOTEL ENTRY PERSPECTIVE
CORNER OF CENTRAL AVE. AND FOUNTAIN AVE.



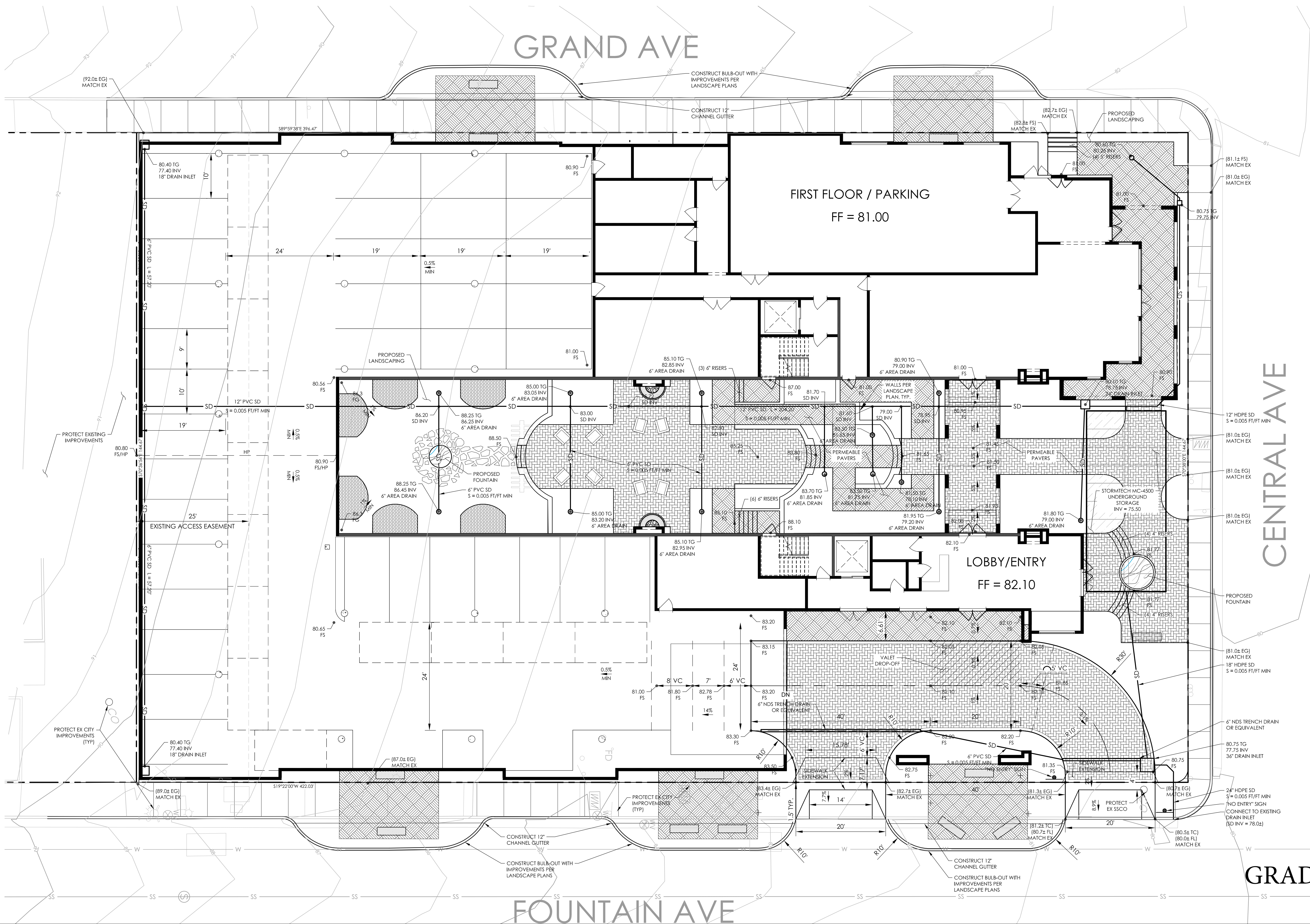
KEYED NOTES

1. Property Line
2. Vehicular Entry
3. Hotel Drop-Off
4. Valet/Garage Entry
5. Outdoor Dining
6. Hotel Entry
7. Restaurant Entry
8. Existing Building
9. Covered Walkway
10. 2nd Floor Balcony
11. Trash Enclosure
12. Water Feature
13. Landscape area
14. Plaza area
15. Fire Pit and Lounge Furniture
16. Garden Arch
17. Flagstone Path
18. Accessible Path of Travel



ARCHITECTURAL SITE PLAN

SCALE: 1"=10'



LEGEND

PROJECT BOUNDARY	---
EXISTING WATER LINE	W
EXISTING SEWER LINE	SS
EXISTING FIRE HYDRANT	⊙
EXISTING TREE LINE	○
POSED CLEANOUT	○
POSED SETBACK	---
POSED WALKWAY	---
POSED CONC. CURB	---
POSED 8" WATER	W
POSED 8" SEWER	SS
POSED STORM DRAIN	RW
POSED 8" RECYCLED WATER	SD
POSED WALL	---

EARTHWORK SUMMARY

EARTHWORK		
RAW CUT:	+4,500 cu yd	
RAW FILL:	0 cu yd	
RAW NET:	+4,500 cu yd	

AREA OF DISTURBANCE: 34,000 sf (0.78 ac)

EARTHWORK SHALL CONSIST OF RESTORATIVE GRADING ONLY. THE RAW EARTHWORK QUANTITIES SHOWN HEREON REPRESENT THE ESTIMATED VOLUMETRIC DIFFERENCE BETWEEN THE PROPOSED FINISHED GRADES AND THE (LIMITED) TOPOGRAPHIC EXISTING GRADES. THESE QUANTITIES EXCLUDE THE VOLUME OF STRUCTURAL MATERIALS NEEDED FOR BACKFILL, ROADWAY, AND OTHER HARD-SCAPE IMPROVEMENTS. FURTHERMORE, THESE ESTIMATES DO NOT CONSIDER LOSSES OR BULKING DUE TO: SHRINKAGE, SOIL AMENDMENTS, STABILIZATION, CONSTRUCTION TECHNIQUE, FOOTING & TRENCHING SPOILS, ETC. THESE, IN ADDITION TO ACTUAL FIELD CONDITIONS, CONSTRUCTION TECHNIQUE AND THE FINAL RECOMMENDATIONS OF THE SOILS ENGINEER MAY SIGNIFICANTLY EFFECT THE FINAL IMPORT/EXPORT QUANTITIES.

STORMWATER SUMMARY

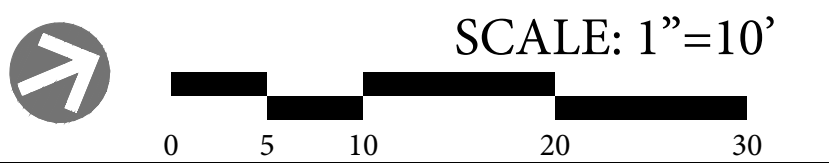
AREA CALCULATION:		
NEW IMPERVIOUS:	0 sq ft	
REPLACED IMPERVIOUS:	24,610 sq ft	
EXISTING IMPERVIOUS:	33,875 sq ft	
TOTAL IMPERVIOUS:	24,610 sq ft	

WATERSHED MANAGEMENT ZONE 4

95th PERCENTILE DEPTH = 1.2"
IMPERVIOUS AREA * 1.2" = TOTAL REQUIRED STORAGE
= 2,461 cu ft

PROPOSED STORAGE = 3,200 cu ft

GRADING AND DRAINAGE





IRRIGATION DESIGN CRITERIA:

THE IRRIGATION DESIGN WILL COMPLY WITH THE LOCAL AND THE STATE WATER CONSERVATION REQUIREMENTS. THE WATER CONSERVATION METHOD FOR THE NEW LANDSCAPE PLANT MATERIAL HAS A LOW TO MEDIUM WATER USE.

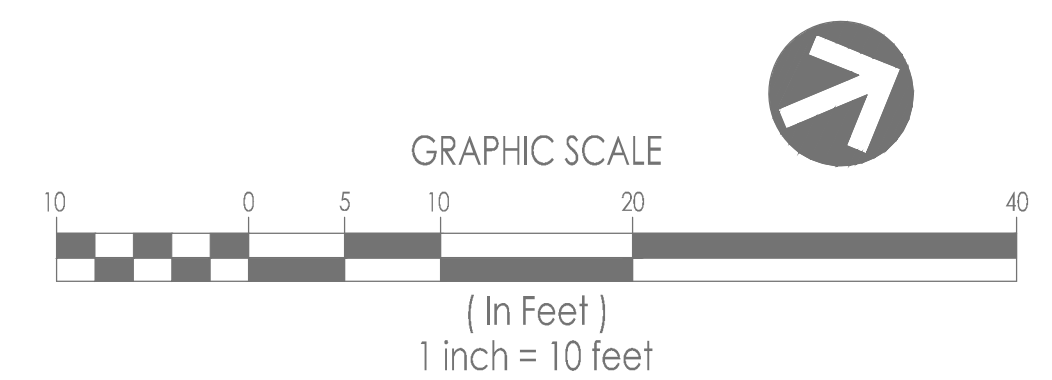
A WEATHER SENSING, 'SMART CONTROLLER' WILL BE USED TO MONITOR THE IRRIGATION WATER AND MANAGE DAILY WATER CONSUMPTION TO THE MINIMUM REQUIREMENTS FOR EACH HYDROZONE.

ALL TREES, POTTERY, SHRUB AND GROUNDCOVER AREAS WILL BE IRRIGATED ON SEPARATE HYDROZONES, SO THAT ONCE ESTABLISHED, WATER CAN BE REGULATED IN A MORE EFFICIENT MANNER.

TREES AND POTTERY WILL BE IRRIGATED BY BUBBLERS. ALL OTHER PLANTING WILL RECEIVE DRIP IRRIGATION.

LANDSCAPE PLAN KEY:

- ① DECORATIVE VEHICULAR & PEDESTRIAN PERMEABLE PAVERS, TYP.
- ② DECORATIVE PEDESTRIAN PERMEABLE PAVERS, TYP.
- ③ PLANTING, TYP.
- ④ COURTYARD FIREPLACE
- ⑤ PRIVATE PATIOS ATTACHED TO SUITES
- ⑥ ENTRY WATER FOUNTAIN
- ⑦ LANDSCAPE PLANTER WALL, TYP.
- ⑧ DECORATIVE OVERHEAD ARBOR
- ⑨ POTTERY, TYP.
- ⑩ CITY APPROVED STREET TREE
- ⑪ LANDSCAPED BULBOUT, TYP.
- ⑫ ACCESSIBLE PATH



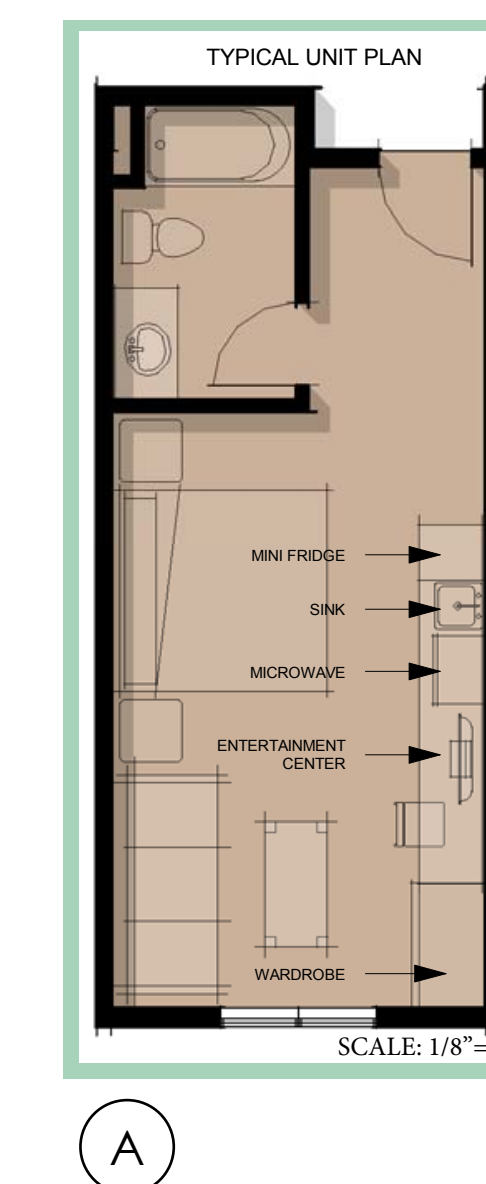
CONCEPTUAL LANDSCAPE PLAN





KEYED NOTES

1. Lounge
2. Exit Stairway
3. Elevator
4. Ice Machine
5. Accessible Room



SECOND FLOOR PLAN

SCALE: 1"=10'

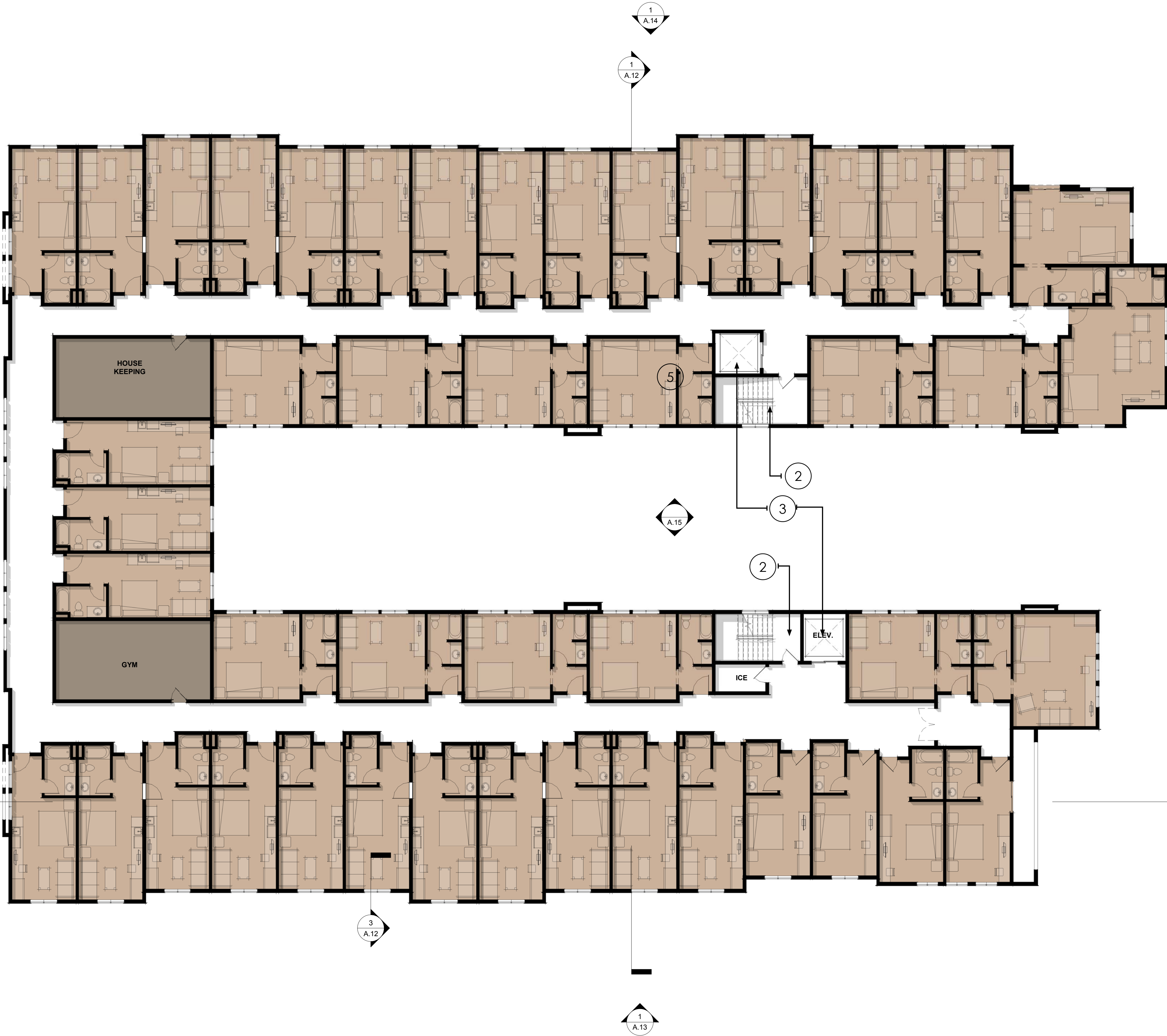


KEYED NOTES

- 1. Lounge
- 2. Exit Stairway
- 3. Elevator
- 4. Ice Machine
- 5. Accessible Room

THIRD FLOOR PLAN

SCALE: 1"=10'





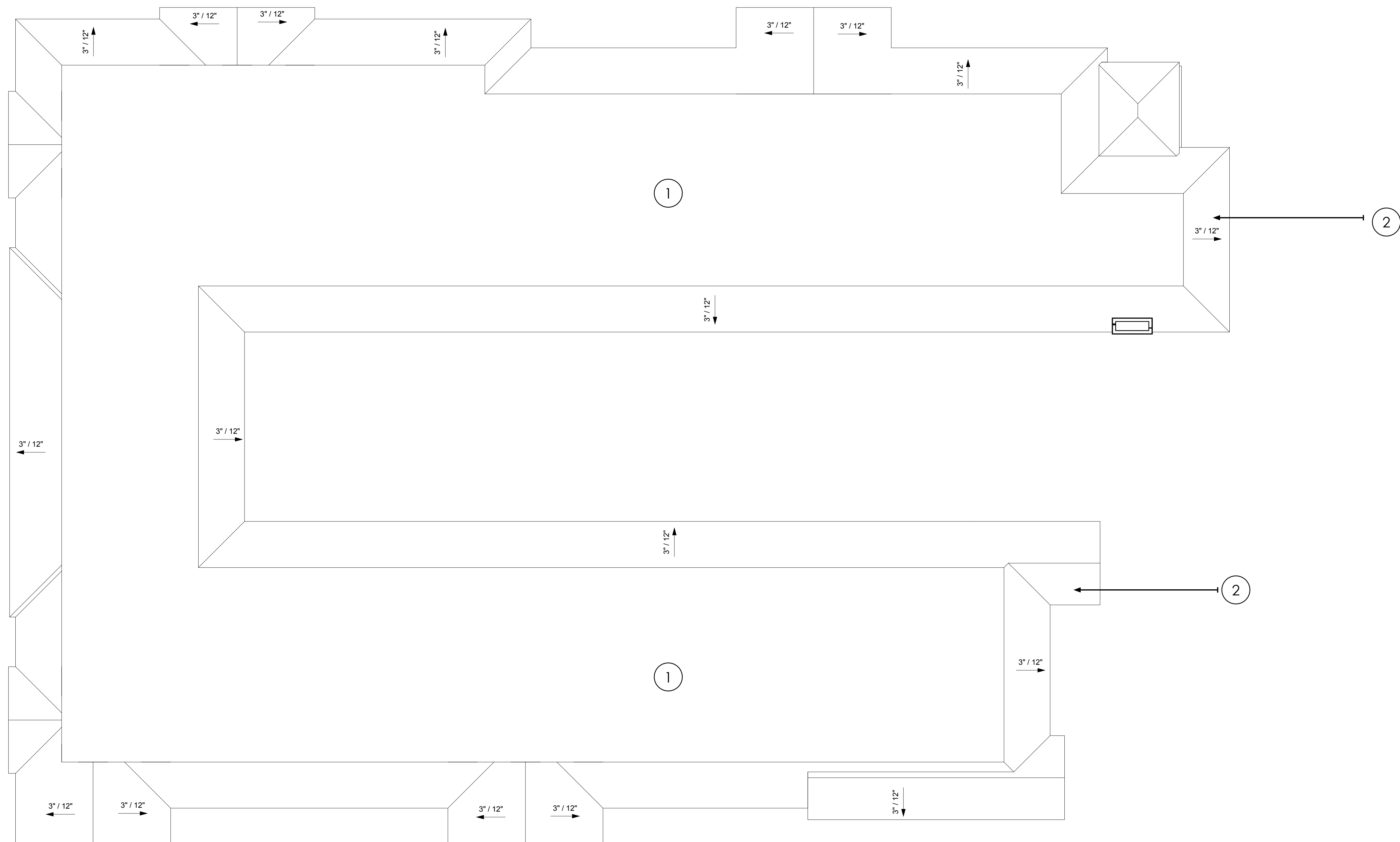
KEYED NOTES

1. Lounge
2. Exit Stairway
3. Elevator
4. Ice Machine
5. Accessible Room

FOURTH FLOOR PLAN

SCALE: 1"=10'





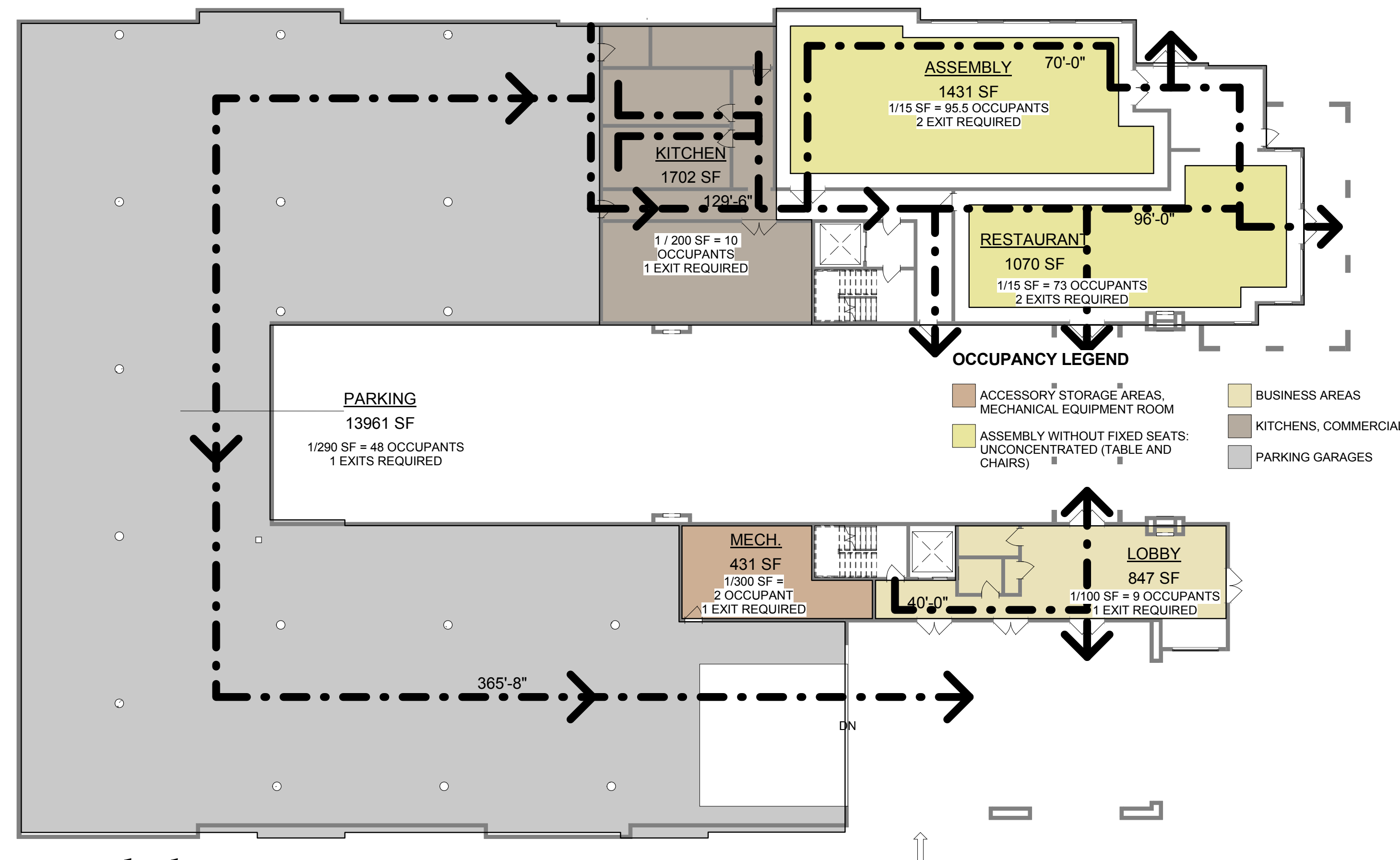
KEYED NOTES

1. Flat Roof
2. Spanish S-tile Roof

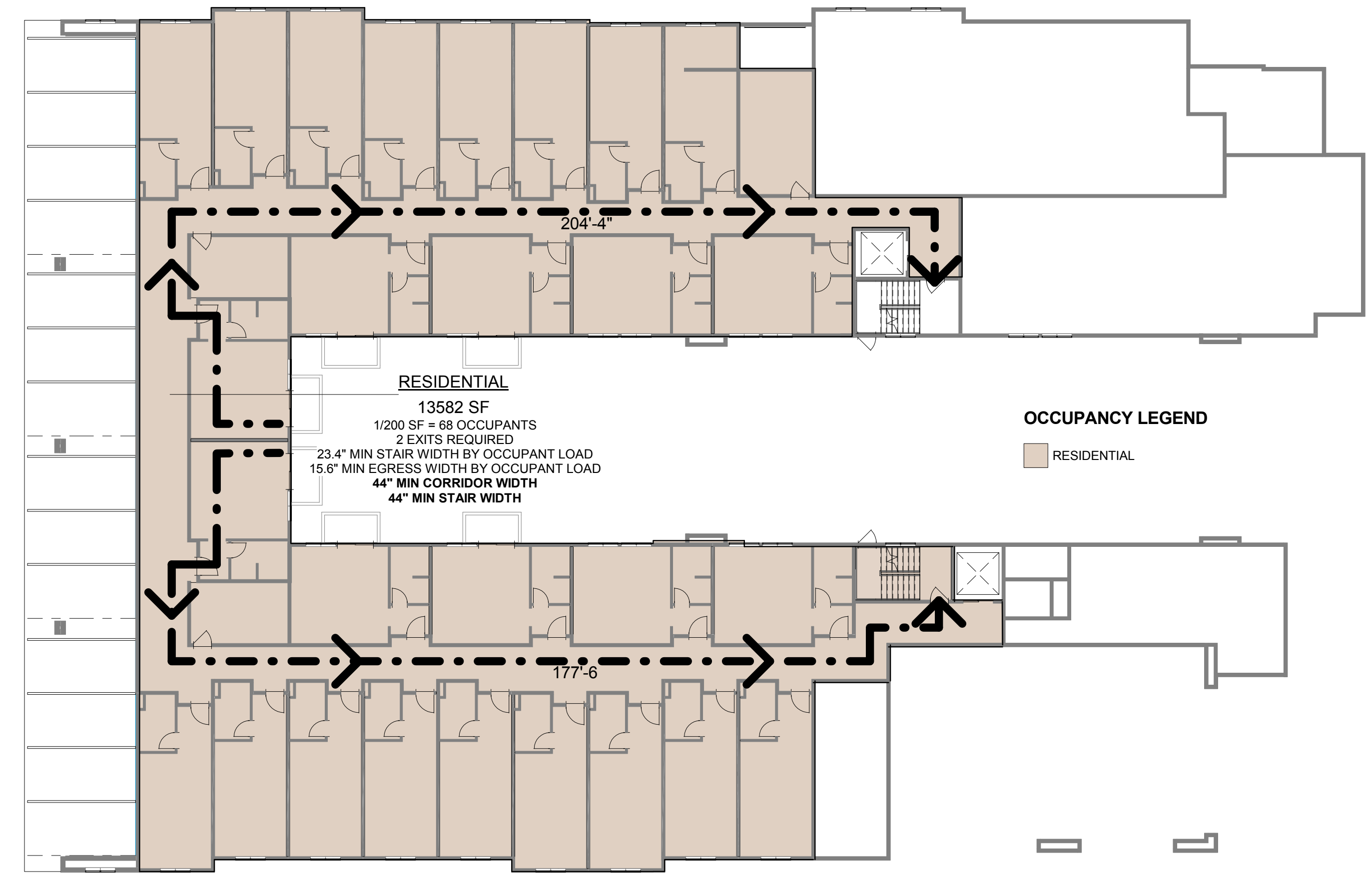
ROOF PLAN

SCALE: 1"=10'

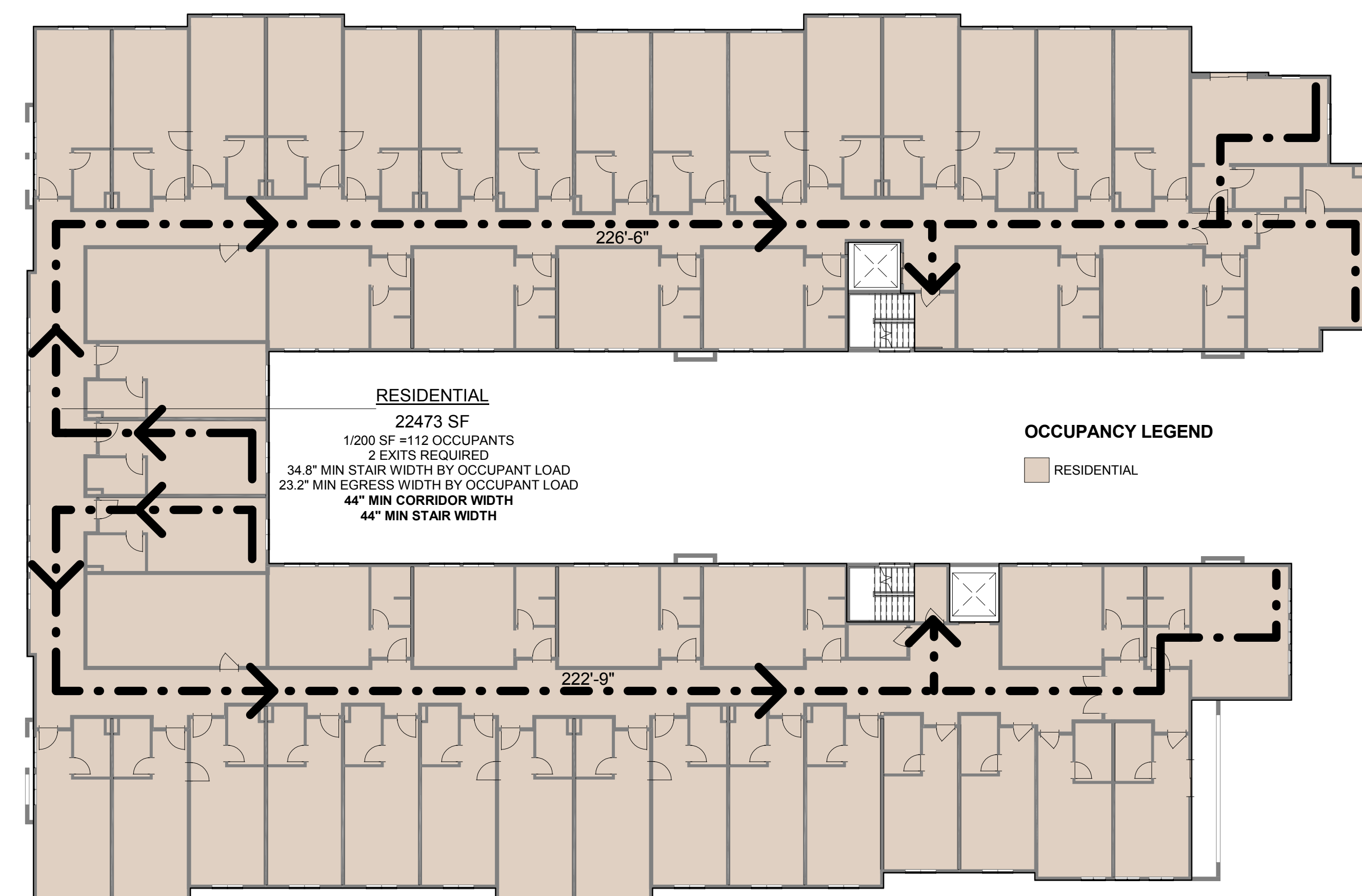




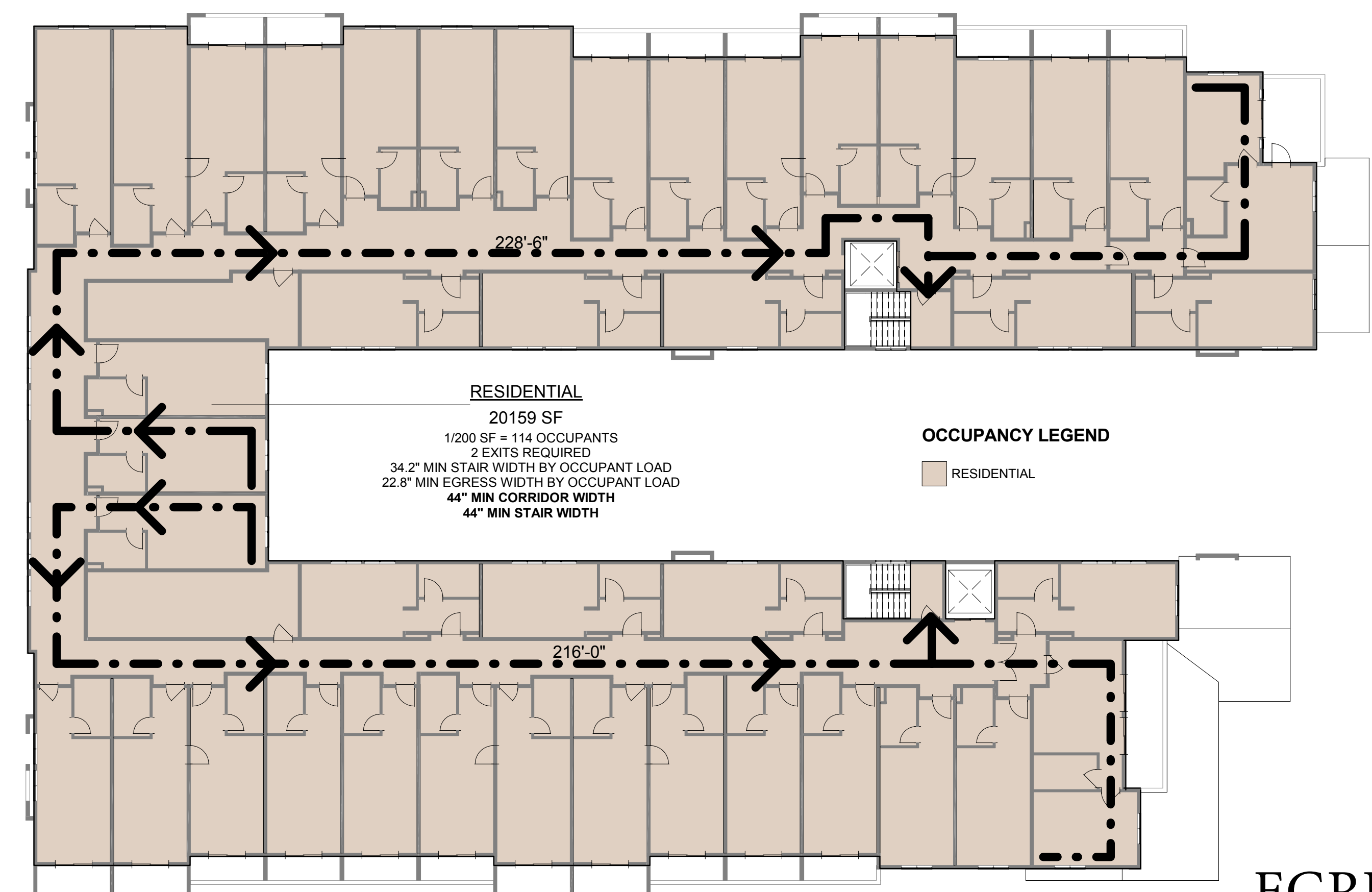
Ground Floor



Second Floor



Third Floor

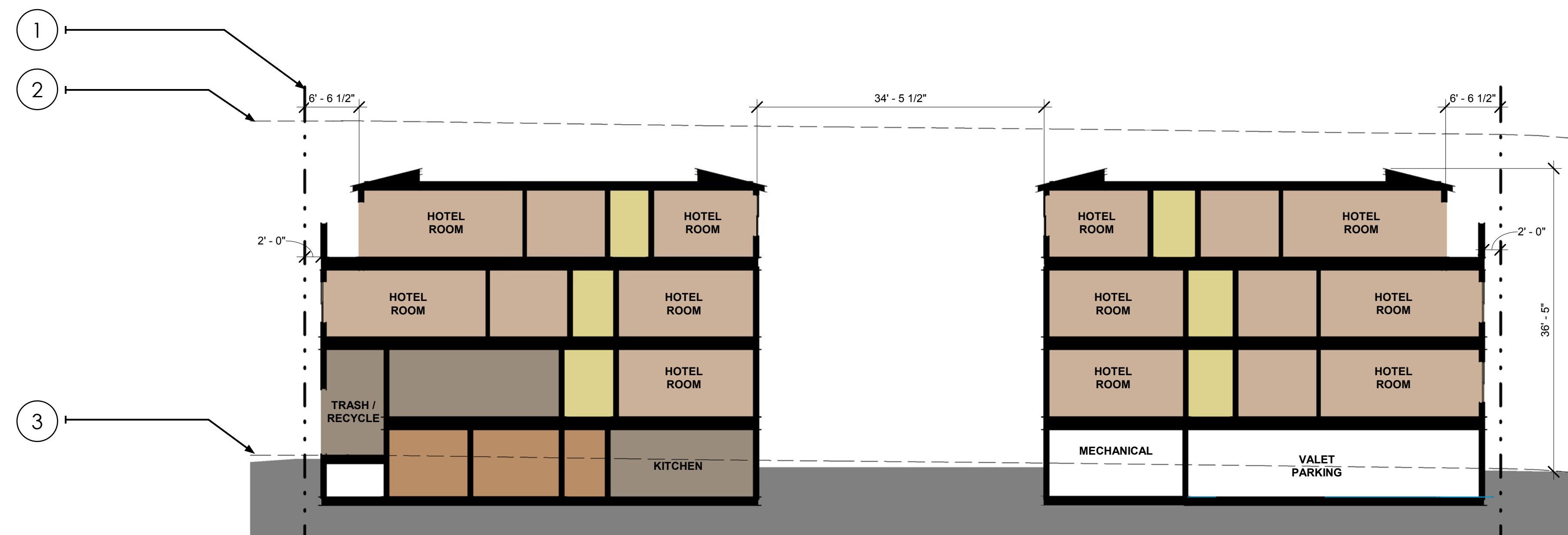


Fourth Floor

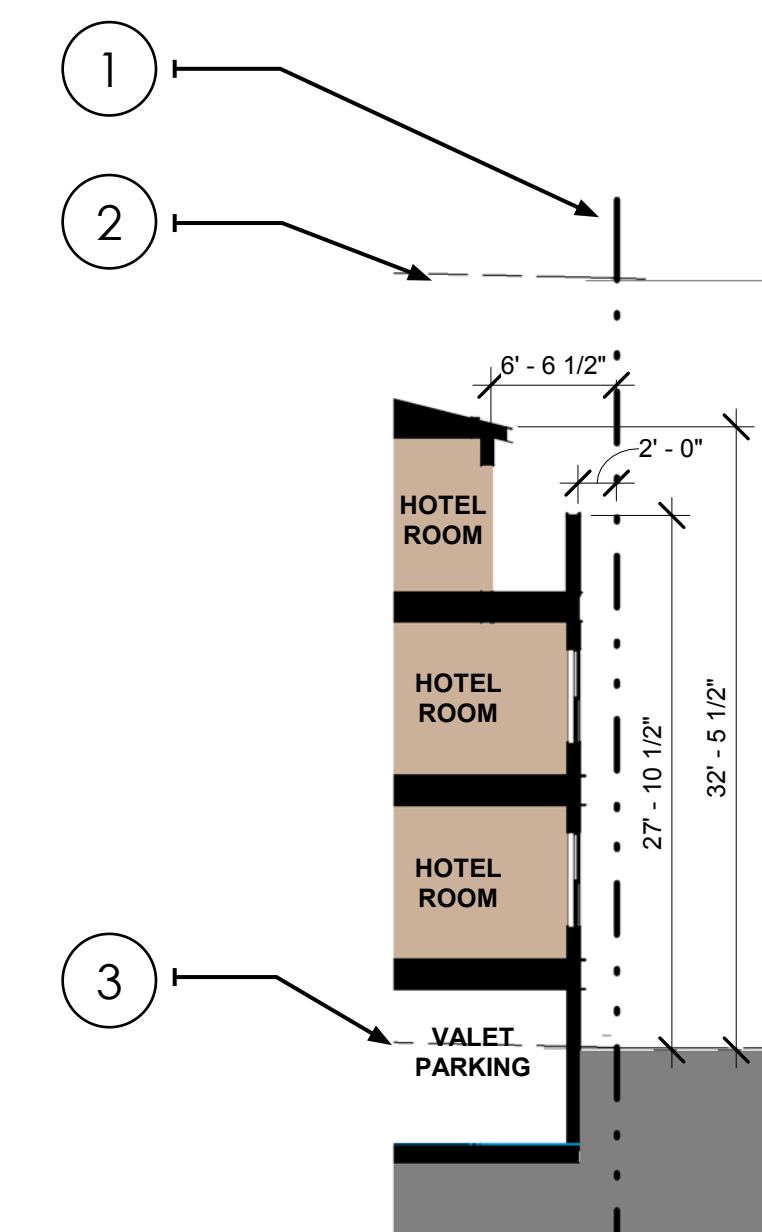
EGRESS PLANS

SCALE: 1/16"=1'





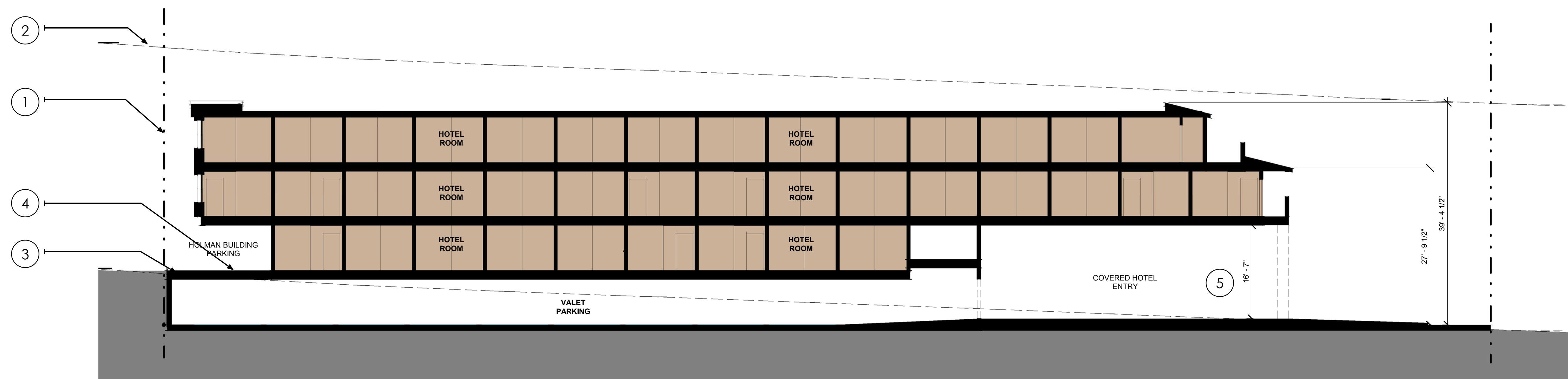
Section 1



Section 3

KEYED NOTES

1. Property Line
2. 40' Height limit from existing grade
3. Existing Grade
4. Holman Building Parking
5. Hotel Drop Off



Section 2

BUILDING SECTIONS

SCALE: 1"=10'





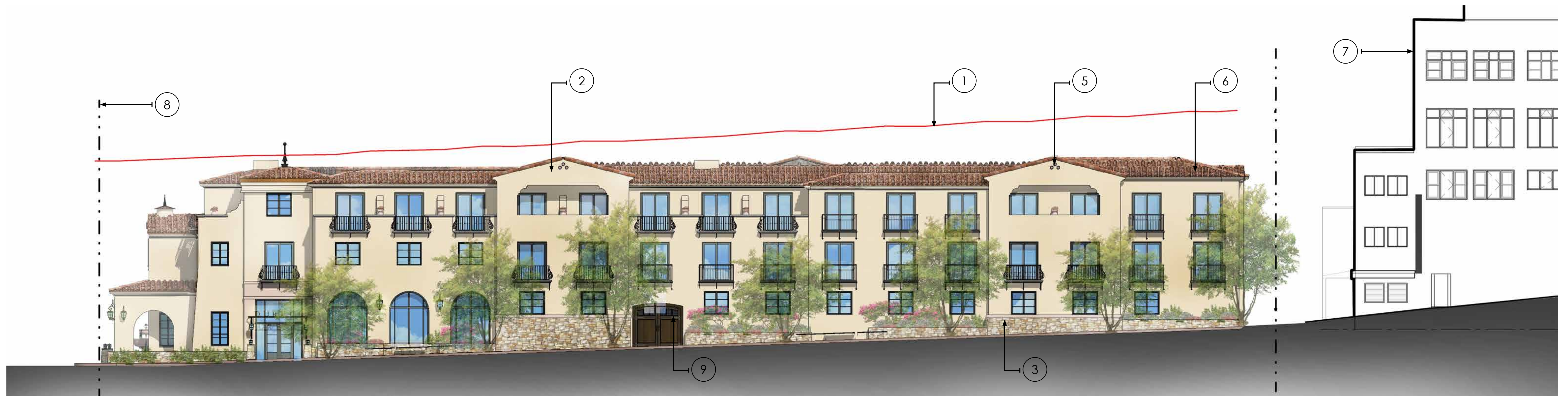
KEYED NOTES

1. 40' Height limit from existing grade
2. Stucco
3. Stone Veneer
4. Signage
5. Spanish tile accent
6. Tile Roof
7. Holman Building
8. Property Line

BUILDING ELEVATIONS

SCALE: 1"=10'





1. GRAND AVE. ELEVATION



2. ALLEYWAY ELEVATION

KEYED NOTES

1. 40' Height limit from existing grade
2. Stucco
3. Stone Veneer
4. Signage
5. Spanish tile accent
6. Tile Roof
7. Holman Building
8. Property Line
9. Trash Door

BUILDING ELEVATIONS

SCALE: 1"=10'





1. COURTYARD ELEVATION



2. COURTYARD ELEVATION

KEYED NOTES

1. 40' Height limit from existing grade
2. Stucco
3. Stone Veneer
4. Signage
5. Spanish tile accent
6. Tile Roof
7. Holman Building
8. Property Line
9. Dedicated Holman Parking
10. Valet Parking

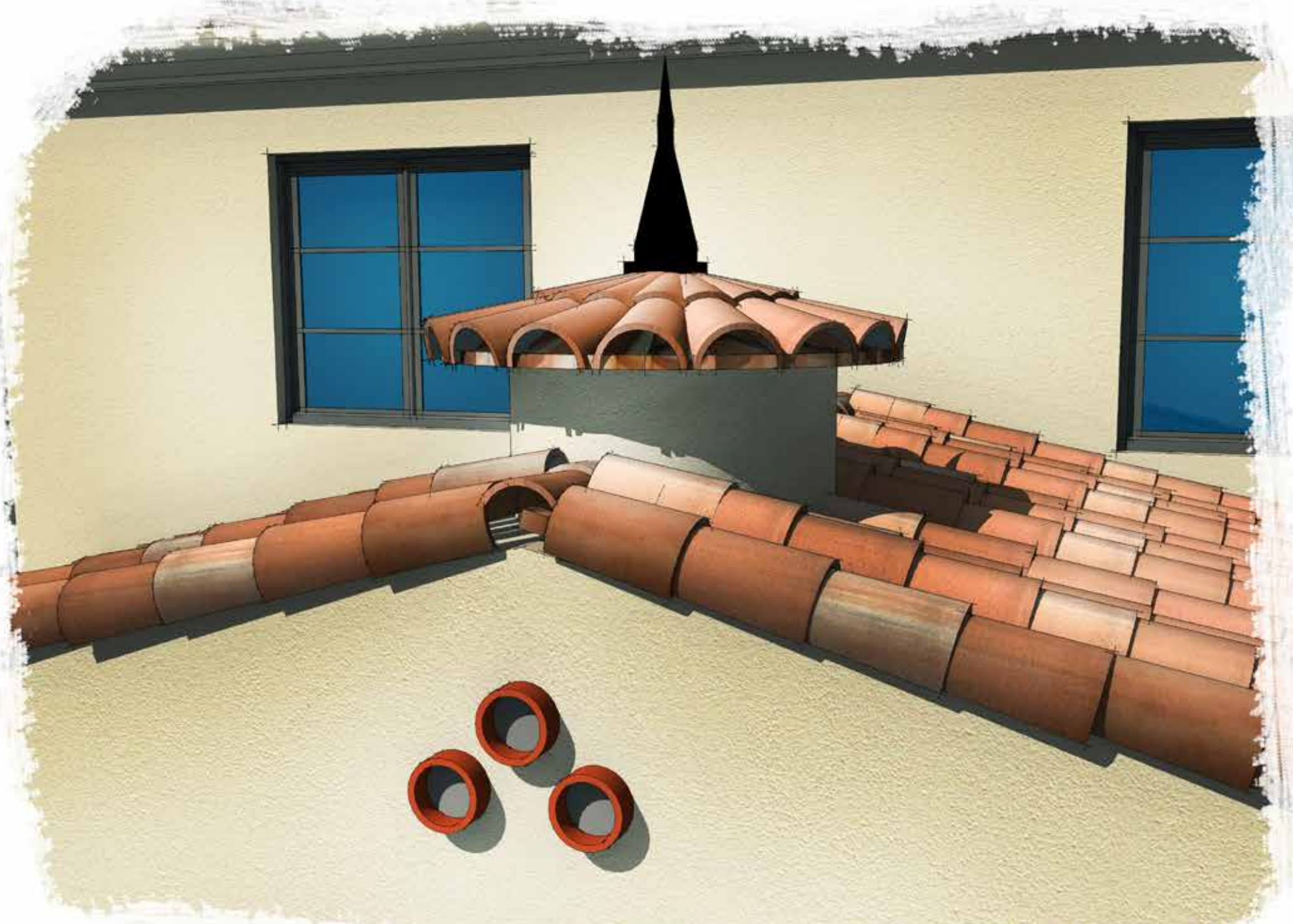
BUILDING ELEVATIONS

SCALE: 1"=10'





BALCONY SEPERATION



ROOF DETAIL



SIGNAGE



TYPICAL WINDOW



BALCONY RAILING

ARCHITECTURAL DETAILS





HOTEL ENTRY PERSPECTIVE
CORNER OF CENTRAL AVE. AND FOUNTAIN AVE.